

REPORT OF THE PLANNING AND DEVELOPMENT DEPARTMENT FOR
APPLICATION FOR TRACK III WIRELESS COMMUNICATIONS TOWER

APRIL 17, 2018

Location: 12094 Kevin Allen Lane, between Cisco Drive West and Chaffee Road

Real Estate Number: 003325-0500

Application Sought: 190 foot Track III wireless communication tower

Current Zoning District: Planned Unit Development (PUD 2005-412)

Current Land Use Category: Agriculture-ii (AGR-ii)

Planning District: Northwest, District 5

Applicant/Agent: Gary Hunter, Esq.
Hopping, Green & Sams, P.A.
119 South Monroe Street, Suite 300
Tallahassee, Florida 32301

Tower Owner: NexTower Development Group, LLC
4210 NW 37th Place, Suite 600
Gainesville, Florida 32060

Land Owner: Kevin Allen Pope
4702 Cisco Road
Jacksonville, Florida 32219

Staff Recommendation: **APPROVE WITH CONDITIONS**

GENERAL INFORMATION

Application for Track III Wireless Communication Tower **CTW-18-02 / Ordinance 2018-170** seeks to construct a 190 foot monopole tower. The 50.53 acre parcel contains residential dwelling and several outbuildings. The tower will be located adjacent to a pond on the site.

STANDARDS, CRITERIA AND FINDINGS

The Commission shall approve, deny or conditionally approve the application where it finds that the proposed tower:

(1) Is the tower consistent with the 2030 Comprehensive Plan including any subsequent plan adopted by City Council?

No. The tower is consistent with the following Goals, Objectives and Policies of the Comprehensive Plan.

FLUE Objective 2.5 Support and strengthen the role of Jacksonville Aviation Authority (JAA) and the United States Military in the local community, and recognize the unique requirements of the City's other airports (civilian and military) by requiring that all adjacent development be compatible with aviation-related activities in accordance with the requirements of Section 163.3177, F.S.

FLUE Policy 2.5.2 Continue to participate in reviews of development plans for Jacksonville's airports (civilian and military) and support opportunities for the development of compatible adjacent agricultural, recreational, industrial and commercial uses. 2.5.7 In cooperation with the US Military and to preserve the utility of the field for simulated night carrier landings or related missions, the City has designated, through the land development regulations, a lighting regulation zone around Outlying Field (OLF) Whitehouse, requiring that all artificial lighting equipment have positive optical control so that no light is emitted above the horizontal plane. The United States Military has requested this special designation for OLF Whitehouse because of its special fleet carrier landing practice mission.

FLUE Policy 2.5.8 Airport Height and Hazard zones (HH) exist around all military and civilian airports within the city limits of Jacksonville. The horizontal limits of the zones and limitations on heights of obstructions within these zones are defined for each military airport in Naval Facilities Engineering Command (NAVFAC) P-80.3 01/82, on file with the Planning and Development Department, and for each civilian airport in Title 14, Code of Federal Regulations (CFR), Part 77 guidelines, on file with the Planning and Development Department. In order to assure that Title 14, CFR, Part 77 guidelines and NAVFAC P-80.3 01/82 guidelines are not exceeded and that no structure or obstruction is permitted that would raise a minimal obstruction clearance altitude, a minimum vectoring descent altitude or a decision height, all cell towers and any structure or obstruction that would extend into an Airport (HH) requires, in writing, comment from the U.S. Navy. Although written documentation from the U.S. Navy for military HH and from the FAA or JAA for civilian HH is not required for proposed structure heights below the listed height, United States Code (USC) Title 14, CFR Part 77 still applies.

The tower falls within the 150 foot height and hazard zone and the lighting regulation zone of Outlying Field (OLF) Whitehouse. The application was routed to the Navy for review. Matt Schellhorn, CPLO NAS Jax/NS Mayport, indicates the Navy has no objection to the tower location provided the condition below is added to the Ordinance. **The tower shall be lighted with NVG (Night Vision Goggle) compatible lighting in Aviation Red light ranging from 665 to 930 nanometers (nm).**

(2) Does the proposed tower comply with the tower siting and design standards and performance standards of this Part 15, Subpart A, Ordinance Code?

Yes. The maximum height for a Track III tower is 199 feet and the proposed monopole tower is 190 feet.

The tower is required to be either 250 feet or 200% of the tower height, which is greater, from a residentially zoned property. The tower is 390 feet from any residential property.

The tower is required to be either 250 feet or 200% of the tower height, which is greater, from a public park or environmentally sensitive lands. The tower is 390 feet from lands designated as conservation in the Westlake PUD to the south.

There is no other conventional cell tower within 2,640 feet of the proposed tower.

The proposed tower is to provide 5 locations for wireless providers. The drawings show four locations. **If approved, a condition should be required to revise the drawings to provide a total of five locations.**

The plans show the required landscaping around all sides of the tower compound. The equipment compound will have an eight foot high wood fence on all sides.

(3) Is the proposed tower site sufficiently accessible to permit entry by fire, police, rescue and other services?

Yes. The application shows a 30 foot wide easement from Kevin Allen Lane to the tower compound. The proposed road should be adequate to allow emergency vehicles to access the tower.

(4) Is the height of the proposed tower necessary to provide the wireless provider's designed service?

The applicant has indicated the tower is at the minimum height necessary to provide the required service. The applicant indicates the tower is to provide service to the existing business, hotels along Pritchard Road as well as existing residential customers.

(5) There is an absence of any existing or proposed towers, buildings, or other structures that could provide technologically and structurally suitable space for collocation on commercially reasonable terms?

There are no suitable towers, buildings or structures in the area that could allow for co-location.

(6) Is the proposed communications tower compatible with the existing contiguous uses or zoning and compatible with the general character and aesthetics of the surrounding neighborhood or areas considering:

(a) The design and height of the communication tower?

No. The monopole tower is the most visually conspicuous design type. The antennas are easily visible. The proposed 190 foot tower will be taller than the surrounding trees and any structure in the area. Due to the wetlands to the south, the tower will not be visible when travelling north on Cisco Drive West. The tower will be visible to those who live north of the tower since there are few trees to screen the tower. The land elevation where the proposed tower is located is one of the highest points in the area, making the tower more visible to those living in the area.

The base of the tower will be screened by the eight foot high wood fence. Contiguous development to the tower site includes single family residential dwellings to the east.

(b) Environmentally sensitive lands, historic districts or historic landmarks, public parks or transportation view corridors?

Yes. The Zoning Code requires a tower to be 250 feet or 200% of the tower height (380 ft.) from a public park or environmentally sensitive lands. The proposed tower is approximately 390 feet from wetlands to the south and 999 feet from wetlands along the western boundary. The Zoning Code also requires the tower to be 100% of the tower height (190 ft.) from any transportation view corridor. The tower is over a 1,000 feet from Kevin Allen Lane and Cisco Drive West.

The adjacent uses, zoning and land use categories are as follows:

Adjacent Property	Land Use Category	Zoning District	Current Use(s)
North	AGR-iv	AGR	single family dwellings
South	CSV	PUD (73-624)	Undeveloped, wetlands
East	AGR-ii	PUD (05-412)	Single family dwelling
West	AGR-ii	PUD (05-412)	Undeveloped, proposed single family dwellings

SUPPLEMENTAL INFORMATION

Upon visual inspection of the subject property on April 2, 2018, the required Notice of Public Hearing sign was posted.



RECOMMENDATION

Based on the foregoing, it is the recommendation of the Planning and Development Department that the application for Rezoning **2018-170 / CTW-18-02** be **APPROVED** subject to the following conditions, which may only be changed through a rezoning:

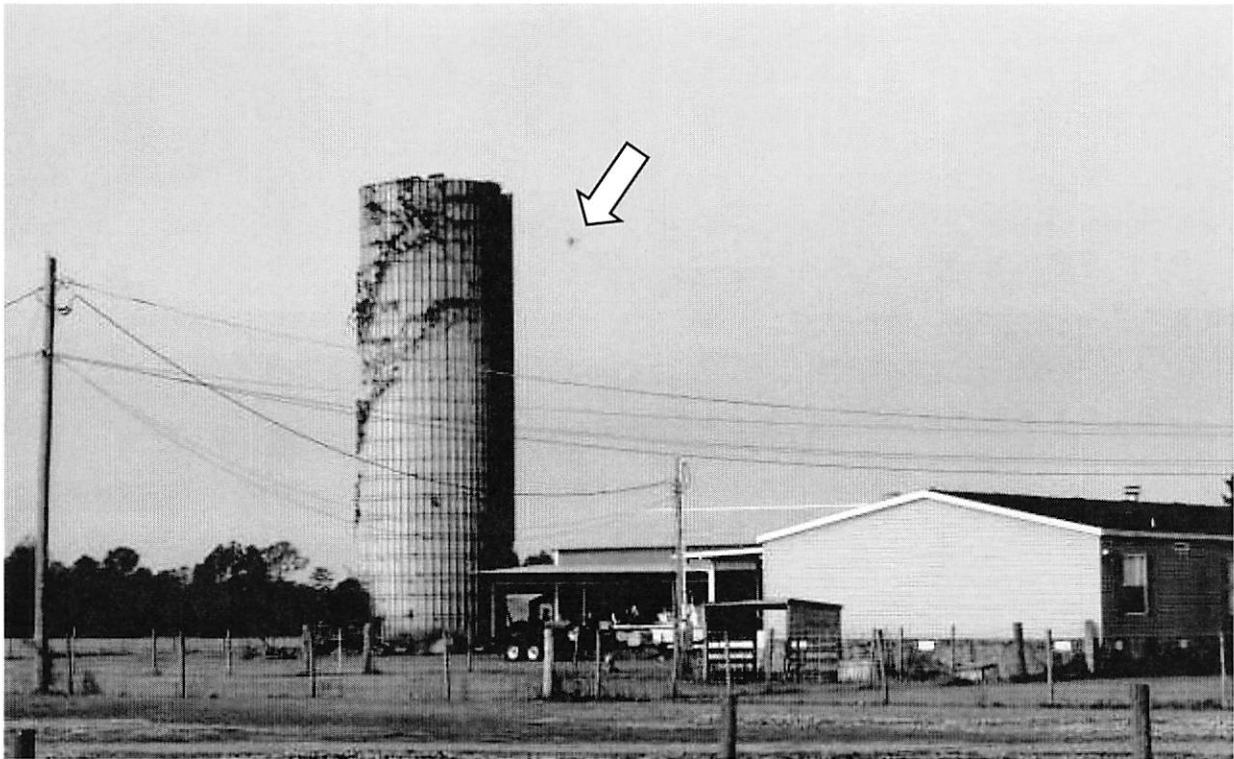
1. The tower shall be lighted with NVG (Night Vision Goggle) compatible lighting in Aviation Red light ranging from 665 to 930 nanometers (nm) subject to the review and approval of the Navy.
2. The drawings shall be revised to provide for a total of five co-locations.
3. Prior to the first final inspection within any phase of development, the owner or their agent shall submit to the Planning and Development Department for its review and approval either (a) an affidavit documenting that all conditions to the development order have been satisfied, or (b) a detailed agreement for the completion of all conditions to the development order.



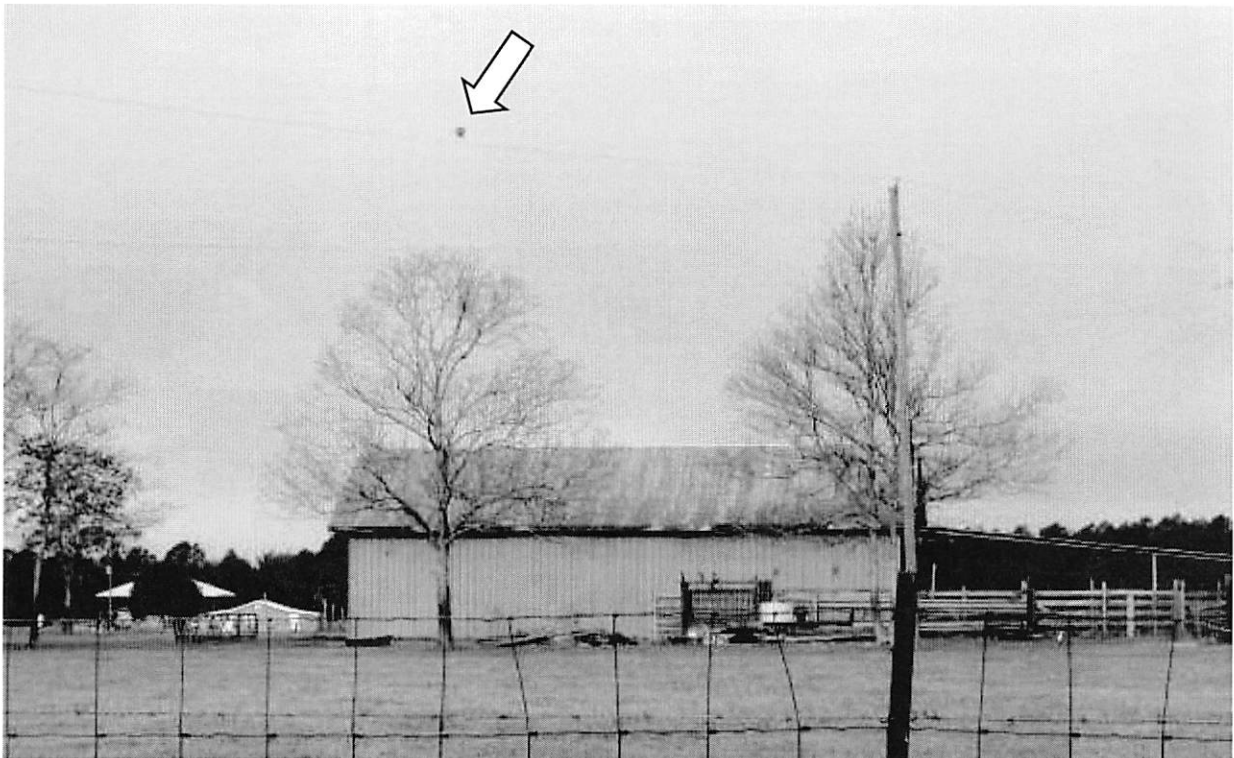
Aerial view of subject property.



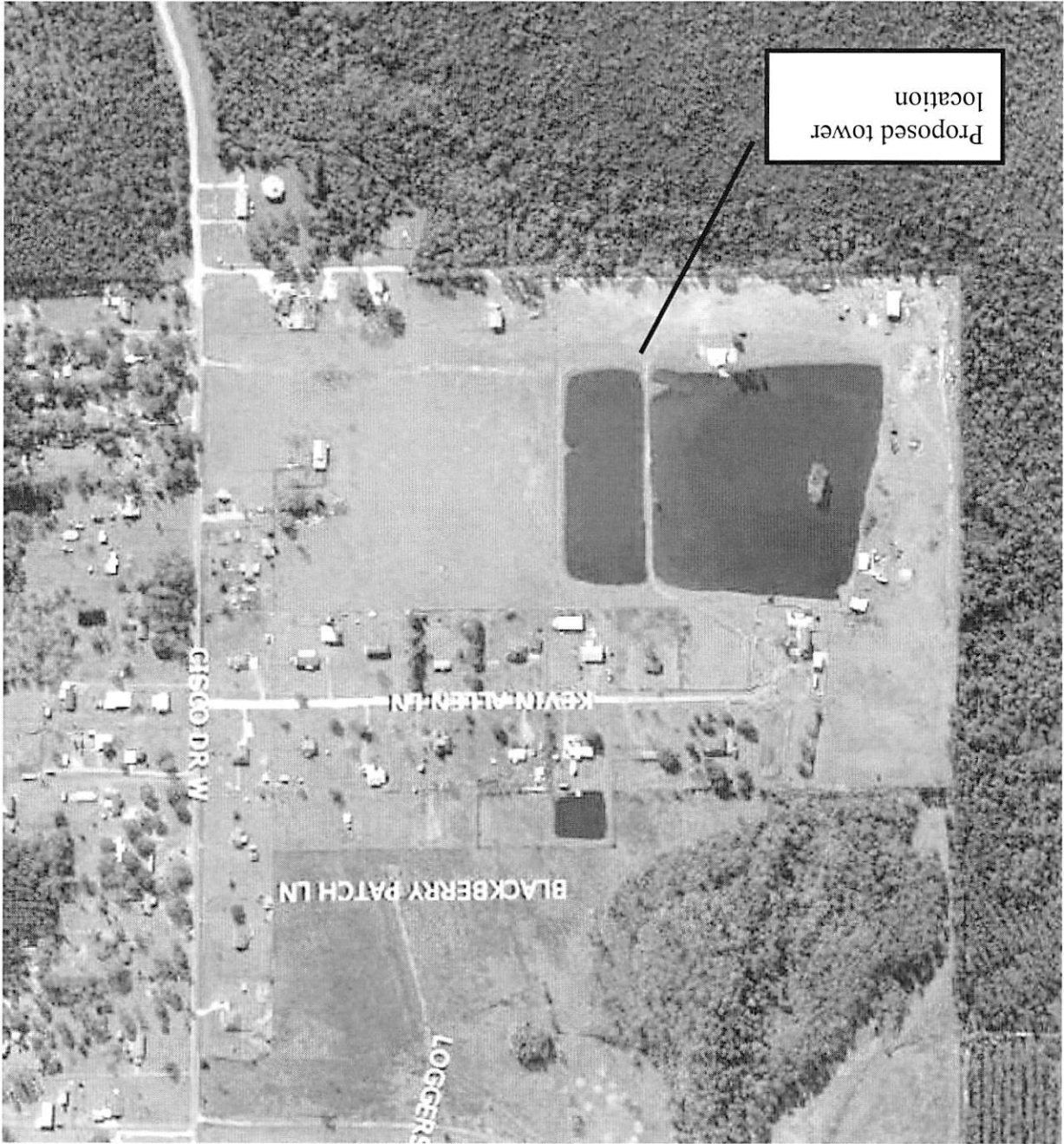
View of balloon from entrance to property on Kevin Allen Drive



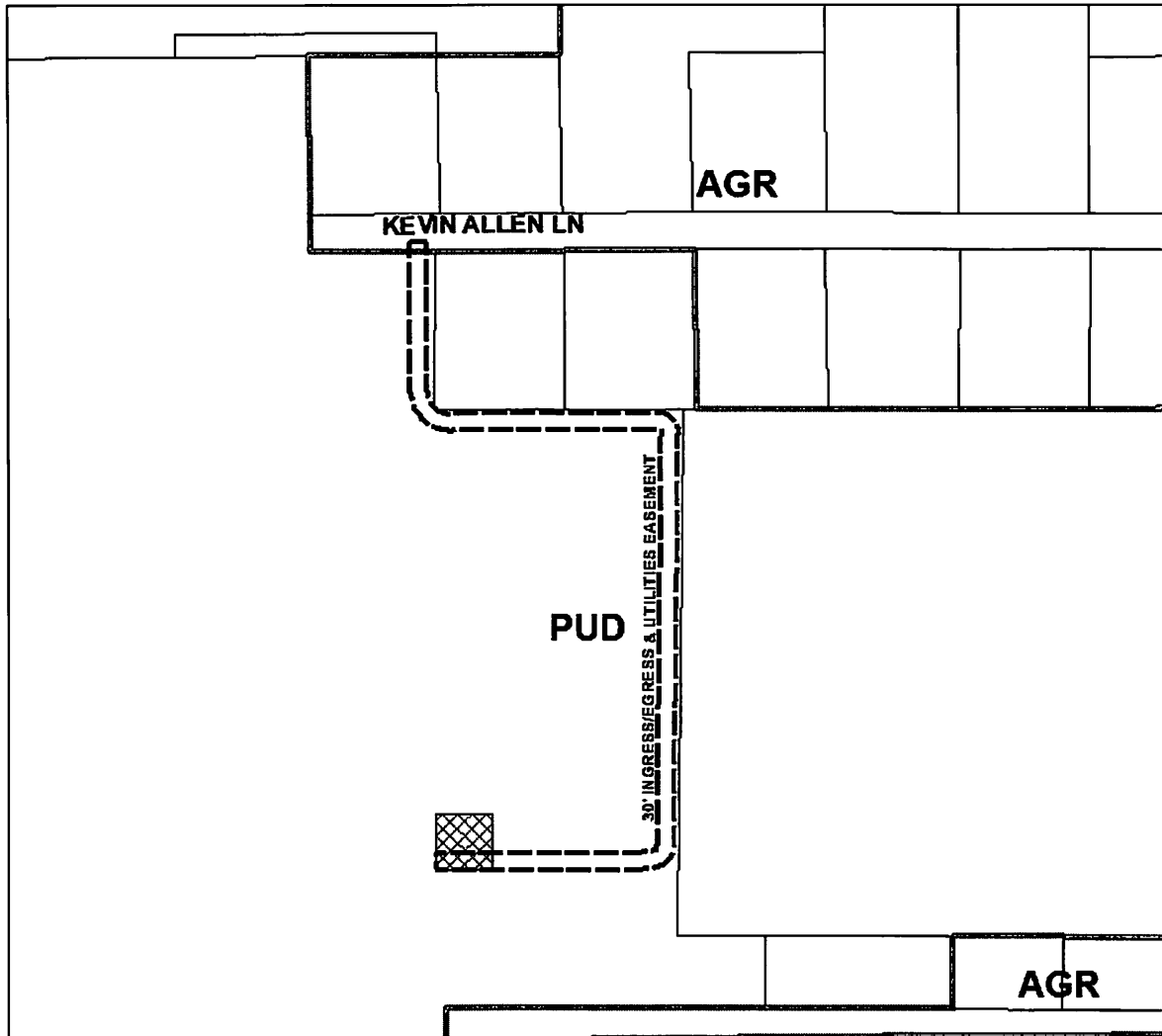
View of balloon from Kevin Allen Drive and Cisco Drive West



View of balloon from Cisco Drive West



Aerial view of location



PUD		PUD
<p>REQUEST SOUGHT:</p> <p>190 FOOT TRACK III CELL TOWER</p>	<p>LOCATION MAP:</p>	<p>0 100 200 400 Feet</p> <p>COUNCIL DISTRICT: 8</p>
<p>ORDINANCE NUMBER:</p> <p>ORD-2018-0170</p>	<p>TRACKING NUMBER</p> <p>CTW-18-02</p>	<p>EXHIBIT 2</p>

APPLICATION FOR TRACK III CONVENTIONAL TOWER

This application must be typed or printed in black ink and submitted with seven (7) copies, with all required attachments, to:

**Planning and Development Department
Wireless Communications Coordinator
Edward Ball Building
214 North Hogan Street, Suite 300
Jacksonville, Florida 32202**

Application No. CTW- 18-02
Set for balloon test: Week of 4/2/18
Set for LUZ: 4/17/18

FOR INFORMATION REGARDING THIS FORM, CALL: (904) 255-7800

FOR OFFICIAL USE ONLY

1. Date Submitted: 1/14/18	2. Current Zoning District(s): PUD 05-412	3. Future Land Use Map Category (FLUMs) AGR-ii	4. Applicable Section of Ordinance Code: Section 656.1507
Amount of Fee <u>See Page 4</u> Council District <u>8</u> Planning District <u>5</u> Zoning Panel No. _____			

TO BE COMPLETED BY APPLICANT

5. Complete Property Address: <u>12094 Kevin Allen Ln.</u> <u>Jacksonville, Florida 32219</u> Real Estate Number: <u>003325-0500</u> Lat / Long: <u>30.379372 N, -81.845675 W</u>	6. Between Streets <u>Cisco Dr. W.</u> And <u>Chaffee Rd.</u>
7. Current Property Use: 6100 Pasture/Land 2	
8. Tower Owner: NEXTOWER DEVELOPEMENT GROUP, LLC 4210 NW 37TH PLACE, SUITE 600 GAINESVILLE, FL 326060 (407) 907-7984 In whose name will the application be granted? NEXTOWER DEVELOPMENT GROUP, LLC _____	9. Tower Height: 190' 10. Height of antenna(s) to be located on tower at time of application: 190'

NOTICE TO OWNER/AGENT

Section 656.1507: Within thirty working days of notification from the Coordinator that the application is complete, the application shall be assigned a legislative bill number and scheduled for a public hearing before the appropriate committee of reference of the City Council. The Committee shall recommend shall approve, deny or conditionally approve an application to the full body of City Council.

For questions not applicable to this application, type or print NA underneath question.

1. Is the proposed conventional wireless communication tower to be located in a zoning district or land use category located outside the Urban/Suburban Area Boundary that does not allow for residential uses?

Yes. Parcel is located outside the Urban/Suburban Area Boundary. Zoning district is PUD, parcel land use category is AGR-II.

If the answer to the above question is "NO", a conventional tower can not be located at the requested location per S.656.1507(a).

2. Is the requested vertical tower height, including any antenna or other appurtenances, less than 199 feet in height, as measured from ground level of the tower?

Yes

Any conventional tower proposed to be greater than 199 feet in height, must seek a variance from the TRC per S.656.1509(b).

3. Does the proposed tower meet or exceed setback requirements from residential properties as mandated by S.656.1507(a)(3)?

Yes

Any conventional tower proposed not meeting setback requirements, must seek a waiver from the TRC per S.656.1509(b).

4. Does the distance of the tower from environmentally sensitive lands, historic districts, historic landmarks, neighborhood conservation districts, public parks and transportation view corridors meet or exceed those mandated for conventional tower designs by S.656.1507(a)(3)?

Yes

Any conventional tower proposed not meeting setback requirements, must seek a waiver from the TRC per S.656.1509(b).

5. Does the tower meet the minimum separation requirements as mandated by S.656.1507(a)(4)?

Yes

Any conventional tower proposed not meeting setback requirements, must seek a waiver from the TRC per S.656.1509(b).

6. Is the tower designed to accommodate the requisite number of co-locaters relative to tower height as mandated by S.656.1507(a)(5)?

Yes

Any conventional tower proposed not meeting setback requirements, must seek a waiver from the TRC per S.656.1509(b).

Pursuant to Section 656.1507(d), An application for a Conventional Wireless Tower permit shall be granted only if the Council finds, from a preponderance of the record evidence, that the proposed tower meets the following standards and criteria:

1. The proposed tower shall be consistent with the Comprehensive Plan, including any subsequent plan adopted by the Council thereto;

2. The proposed tower shall comply with both the siting and design standards for conventional wireless towers and the performance standards for all wireless communication towers;

3. The proposed tower site shall be sufficiently accessible to permit entry onto the property by fire, police, rescue and other services;

4. The height of the proposed tower shall be deemed necessary to provide the wireless provider's designed service;

5. The absence of any existing or proposed towers, buildings or other structures that could provide technologically and structurally suitable space for co-location on community reasonable terms;

6. The proposed tower shall be compatible with the existing contiguous uses or zoning and compatible with the general character and aesthetics of the surrounding neighborhood or the area, considering:

(i) The design and height of the communication tower;

(ii) The potential adverse impact upon any environmentally sensitive lands, historic districts or historic landmarks, public parks or transportations view corridors; and

(iii) The mitigating effect of any existing or proposed landscaping, fencing or other structures in the area, as well as the proximity of the communications tower to existing or proposed buildings or structures.

Please review your application. All spaces noted as "TO BE COMPLETED BY APPLICANT" must be filled in for the application to be accepted.

No application will be accepted as "Complete and filed" until all the requested information has been supplied and the required fee has been paid. The acceptance of an application as being complete does not guarantee its approval by the Land Development Committee of the Planning Commission. You (or your agent) must be present at the hearing.

The required signs must be posted on the property within five (5) working days after the filing of this application. The sign(s) must remain posted and maintained until a final determination has been made on the application.

Also, an agent's letter of authorization must be attached if the application is not signed by the owner of record and also if someone attends the meeting on the applicant's behalf without prior authorization.

FILING FEES

All Districts Base Fee:	\$1000.00
Notification Costs Per Addressee 28 Notifications @ \$7.00 each:	196
Total Cost:	1,196.00
Advertising Costs to be Billed to Owner / Agent	

When your completed application is submitted to the Wireless Communication Coordinator, a list of property owners (addressee) within 350 feet radius of the property will be prepared by the Department.

I HEREBY CERTIFY THAT I HAVE READ AND UNDERSTAND the information contained in this application, that I am the owner or authorized agent for the owner with authority to make this application, and that all of the information contained in this application, including the attachments, is true and correct to the best of my knowledge.

PLEASE PRINT:

Name and address of Owner(s)

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Daytime Telephone _____

Fax Number _____

Name and address of Authorized Agent(s)

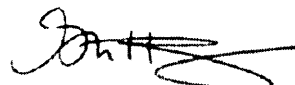
Name: Gary Hunter of Hopping Green & Sams, P.A.

Address: 119 South Monroe St.
Suite 300

City: Tallahassee State: FL Zip: 32301

Daytime Telephone (850) 222-7500

Fax Number (850) 224-8551



SIGNATURE OF OWNER(S)

SIGNATURE OF AUTHORIZED AGENT(S)

The Agent's letter of authorization must be attached if application is not signed by the owner of record.

INSTRUCTIONS

Submittal Information: Applications to construct a Wireless Communication Tower shall contain the following information:

1. The identity of the owner(s) of the proposed tower and the land on which the tower is to be located. Applications for a Conventional Wireless Tower (Track III) shall also identify the Wireless Communication Service Provider(s) that have committed to locating on the proposed tower, as provided in Section 656.1508 (b)(16);
2. The location of the proposed tower, including street address and parcel real estate number, as well as longitude and latitude coordinates;
3. A current zoning map showing the location of the proposed tower;
4. A legal description of the parent tract and Tower Site (if applicable);
5. A description of the communications service(s) provided by any Wireless Communication Service Providers identified as actual or potential users of the proposed tower;
6. A scaled site plan clearly indicating the tower size, type and height, the location of any accessory buildings, on-site land uses and zoning, adjacent land uses and zoning, adjacent roadways, proposed means of access, distances from property lines, elevation drawings of the proposed tower, and any other proposed structures;
7. Distance between the proposed tower and the nearest residentially zoned lands;
8. Distance between the proposed tower and the nearest boundary of any public park or Environmentally Sensitive Lands located within two miles of the proposed tower;
9. A landscape plan showing specific landscape materials;
10. The method of fencing, finished color and, if applicable, the method of aesthetic mitigation and illumination;
11. A map depicting (a) all existing Wireless Communication Towers within a one-half mile radius of the proposed tower, (b) all proposed Wireless Communication Towers within a one-half mile radius of the proposed tower that are currently in the permitting process, and (c) all structures in excess of eighty feet that could reasonably support a wireless communication antenna and are located within the search ring of the proposed tower;
12. If the applicant is not co-locating on the proposed communication tower of another Wireless Communication Service Provider or other structure, written evidence that there is no technologically and structurally suitable space available on commercially reasonable terms on an existing or proposed tower or structure within the Search Ring;
13. Details of all proposed antennas and mounting equipment, including size and color;
14. A design drawing including cross section and elevation of the proposed tower. A description of the tower's capacity, including the number and type of antennas it can accommodate as well as the proposed location of all mounting positions for co-located antennas and the minimum separation distances between antennas;
15. Certified statement from a licensed professional engineer attesting to the structural integrity of the tower and its ability to accommodate additional antennas;

16. A propagation map depicting both the extent of the communication provider's existing coverage within the subject area and the service area of the proposed tower;
17. A photographic simulation of the proposed tower site in order to help the approving authority ascertain the visual impacts associated with such proposal. Where the tower does not meet the minimum setback limitations set forth in this Subpart A, the applicant shall provide a view-shed analysis showing various angles from which the tower would be visible from the nearest boundary of said lands;
18. A Wireless Communication Network Plan for each service provider committed to locating on the tower, which plan shall include:
 - (i) The locations of all the provider's existing Wireless Communication Towers within the City of Jacksonville that have not previously been filed with the Coordinator, including the tower type and height, the number of co-location positions designated, occupied or vacant (along with the identity of the Wireless Communication Service Provider(s) and the respective heights of the co-location sites), the longitude and latitude coordinates of each Tower Site and real estate number prescribed by the Property Appraiser for the land on which the towers are located. Where the tower applicant is not a licensed Wireless Communication Service Provider, the applicant shall identify the locations of all other towers that it owns within the City, along with the site-specific information set forth above;
 - (ii) The locations of all the provider's existing wireless communication antennas within the City of Jacksonville that have not been previously filed with the Coordinator (other than those located on towers owned by the provider), including a description of the type of structure on which the antennas are located, the height at which the antennas are located, the identity of the owner of the structure and the real estate parcel number of the land on which the structure is located;
 - (iii) The structural ability of the provider's Wireless Communication Towers, or those on which the provider has either existing antennas or proposed antennas in the permitting process, to support additional antennas.
19. Any additional information deemed necessary by the Department to complete its review of the application.



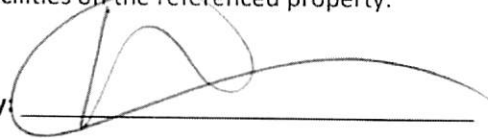
June 22nd, 2017

RE: Agency Authorization for Telecommunications Tower Zoning Application

Site Name: Pritchard Road
Site ID: NXFL-118
Site Address: 12094 Kevin Allen Lane, Jacksonville, Florida 32219
Parcel ID: 0033250500R
County: Duval

TO WHOM IT MAY CONCERN:

I Kevin Allen Cope, as Owner of the property located at 12094 Kevin Allen Lane, in Jacksonville, Florida, does hereby acknowledge **NexTower Development Group, LLC** and its agent and/or representatives, to act on behalf of and as agent in any and all matters relating to obtaining any and all local, governmental and regulatory approvals from Duval County, for placement of a telecommunications tower and related facilities on the referenced property.

By: 

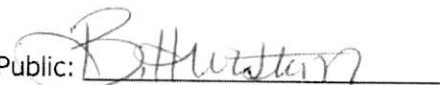
Name: Kevin Allen Cope

STATE OF Florida

COUNTY OF Duval

I, a Notary Public of the County and State aforesaid, certify that Kevin Cope personally came before me this day and acknowledged that she, being authorized to do so, executed the foregoing instrument, who is personally known to me or produced Drivers license as identification.

WITNESS my hand and notarial seal, this 22nd day of June, 2017.

Notary Public: 
Print Name: Brittany Hurston
My Commission Expires: May 2, 2021





June 22nd, 2017

RE: Agency Authorization for Telecommunications Tower Zoning Application

Site Name: Pritchard Road

Site ID: NXFL-118

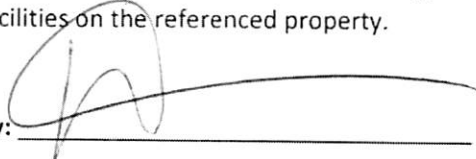
Site Address: 12094 Kevin Allen Lane, Jacksonville, Florida 32219

Parcel ID: 0033250500R

County: Duval

TO WHOM IT MAY CONCERN:

I Kevin Allen Cope, as Owner of the property located at 12094 Kevin Allen Lane, in Jacksonville, Florida, does hereby acknowledge **Hopping, Green & Sams, P.A.** and its agent and/or representatives, to act on behalf of and as agent in any and all matters relating to obtaining any and all local, governmental and regulatory approvals from Duval County, for placement of a telecommunications tower and related facilities on the referenced property.

By: 

Name: Kevin Allen Cope

STATE OF Florida

COUNTY OF Duval

I, a Notary Public of the County and State aforesaid, certify that Kevin Cope personally came before me this day and acknowledged that she, being authorized to do so, executed the foregoing instrument, who is personally known to me or produced Drivers license as identification.

WITNESS my hand and notarial seal, this 22nd day of June, 2017.

Notary Public: 
Print Name: Brittany Hurston
My Commission Expires: May 2, 2021



STONECYPHER SURVEYING INC.

1225 NW 16TH AVENUE, GAINESVILLE, FLORIDA 32601

PHONE: 352-379-0948

NEXTOWER DEVELOPMENT GROUP, LLC

PRITCHARD ROAD NXFL-118 **LEGAL DESCRIPTIONS**

PARENT TRACT DESCRIPTION (O.R. 14439, PAGE 2346)

A PARCEL OF LAND BEING A PORTION OF THE SOUTHWEST 1/4 OF SECTION 30, TOWNSHIP 1 SOUTH, RANGE 25 EAST, DUVAL COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHEAST CORNER OF SAID SOUTHWEST 1/4 OF SECTION 30, SAID POINT SITUATE ON THE CENTERLINE OF CISCO DRIVE WEST (A 60-FOOT PUBLIC RIGHT OF WAY); THENCE SOUTH 89°38'27" WEST, ALONG THE SOUTH LINE OF SAID SOUTHWEST 1/4 OF SECTION 30, A DISTANCE OF 1630.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89°38'27" WEST, CONTINUE ALONG THE SOUTH LINE OF SAID SOUTHWEST 1/4 OF SECTION 30, A DISTANCE OF 976.55 FEET TO THE SOUTHWEST CORNER OF SAID SECTION 30; THENCE NORTH 00°13'36" EAST, ALONG THE WEST LINE OF SAID SECTION 30, A DISTANCE OF 1750.06 FEET TO THE NORTHWEST CORNER OF THOSE CERTAIN LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 14059, PAGE 1277 OF THE CURRENT PUBLIC RECORDS OF SAID COUNTY; THENCE NORTH 89°35'18" EAST, ALONG THE NORTH LINE OF THE LAST SAID LANDS, A DISTANCE OF 726.34 FEET TO THE NORTHWEST CORNER OF THOSE CERTAIN LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 11435, PAGE 1978 OF SAID CURRENT PUBLIC RECORDS; THENCE SOUTH 00°37'04" WEST, ALONG THE WEST LINE OF THE LAST SAID LANDS AND PARALLEL TO THE WESTERLY RIGHT OF WAY LINE OF THE AFORESAID CISCO DRIVE WEST, DISTANCE OF 281.00 FEET TO A POINT AT THE SOUTHWEST CORNER OF THE LAST MENTIONED LANDS, SAID POINT ALSO BEING SITUATE ON THE NORTHERLY LINE OF A 60-FOOT INGRESS-EGRESS EASEMENT AS RECORDED IN OFFICIAL RECORDS BOOK 6453, PAGE 254 OF SAID CURRENT PUBLIC RECORDS; THENCE NORTH 89°35'18" EAST, ALONG THE NORTHERLY LINE OF THE LAST SAID EASEMENT AND THE EASTERLY EXTENSION THEREOF, A DISTANCE OF 1862.20 FEET TO A POINT AT THE SOUTHEAST CORNER OF THOSE CERTAIN LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 10951, PAGE 2439 OF SAID CURRENT PUBLIC RECORDS, SAID POINT ALSO BEING SITUATE ON THE AFORESAID WESTERLY RIGHT OF WAY LINE OF CISCO DRIVE WEST; THENCE SOUTH 00°37'04" WEST, ALONG LAST SAID WESTERLY RIGHT OF WAY LINE, A DISTANCE OF 60.01 FEET TO A POINT AT THE NORTHEAST CORNER OF THOSE CERTAIN LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 7179, PAGE 1487 OF THE CURRENT PUBLIC RECORDS OF SAID COUNTY, SAID POINT ALSO BEING SITUATE IN THE EASTERLY EXTENSION OF THE SOUTHERLY LINE OF THE AFORESAID 60-FOOT INGRESS-EGRESS EASEMENT; THENCE SOUTH 89°35'18" WEST, ALONG THE LAST SAID EASTERLY EXTENSION AND THE SOUTHERLY LINE OF THE AFORESAID 60-FOOT INGRESS-EGRESS EASEMENT, A DISTANCE OF 1629.60 FEET TO THE NORTHWEST CORNER OF THOSE CERTAIN LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 11951, PAGE 914 OF SAID CURRENT PUBLIC RECORDS; THENCE SOUTH 00°37'04" WEST, ALONG THE WEST LINE OF THE LAST SAID LANDS, SAID LINE ALSO BEING PARALLEL TO THE WESTERLY RIGHT OF WAY LINE OF THE AFORESAID CISCO DRIVE WEST, A DISTANCE OF 281.00 FEET TO THE SOUTHWEST CORNER OF THE LAST SAID LANDS; THENCE NORTH 89°35'18" EAST, ALONG THE SOUTH LINE OF THE LAST SAID LANDS AND THE EASTERLY PROJECTION THEREOF, A DISTANCE OF 439.41 FEET; THENCE SOUTH 00°37'04" WEST, ALONG A LINE BEING PARALLEL TO THE WESTERLY RIGHT OF WAY LINE OF THE AFORESAID CISCO DRIVE WEST, A DISTANCE OF 949.50 FEET TO A POINT SITUATE AT THE INTERSECTION WITH THE WESTERLY PROJECTION OF THE NORTH LINE OF THOSE CERTAIN LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 11344, PAGE 1997 OF THE CURRENT PUBLIC RECORDS OF SAID COUNTY, THENCE NORTH 89°38'27" EAST, ALONG THE LAST SAID WESTERLY PROJECTION OF THE NORTH LINE OF THOSE CERTAIN LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 11344, PAGE 1997, A DISTANCE OF 159.49 FEET TO THE NORTHWEST CORNER OF THE LAST MENTIONED LANDS; THENCE SOUTH 00°37'04" WEST, ALONG THE WEST LINE OF THE LAST MENTIONED LANDS, A DISTANCE OF 129.99 FEET TO A POINT SITUATE ON THE NORTH LINE OF A 50-FOOT DRAINAGE RIGHT OF WAY AS RECORDED IN OFFICIAL RECORDS BOOK 566, PAGE 99 OF SAID CURRENT PUBLIC RECORDS; THENCE SOUTH 89°38'27" WEST, ALONG THE LAST SAID LINE, SAID LINE BEING PARALLEL TO THE SOUTH LINE OF THE AFORESAID SOUTHWEST 1/4 OF SECTION 30, A DISTANCE OF 569.32 FEET TO THE WESTERLY TERMINUS OF SAID 50-FOOT DRAINAGE RIGHT OF WAY; THENCE SOUTH 00°37'04" WEST ALONG THE WESTERLY LINE OF SAID 50-FOOT DRAINAGE RIGHT OF WAY, SAID LINE ALSO BEING PARALLEL TO THE WESTERLY RIGHT OF WAY LINE OF THE AFORESAID CISCO DRIVE WEST, A DISTANCE OF 50.01 FEET TO THE POINT OF BEGINNING. CONTAINING 2,196,857.17 SQUARE FEET AND/OR 50.43 ACRES MORE OR LESS.

NEXTOWER LEASE PARCEL

A PARCEL OF LAND BEING A PORTION OF THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 1 SOUTH, RANGE 25 EAST, DUVAL COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER OF SECTION 30, SAID POINT SITUATE ON THE CENTERLINE OF CISCO DRIVE WEST (A 60-FOOT PUBLIC RIGHT OF WAY); THENCE SOUTH 89°38'27" WEST, ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF SECTION 30, FOR 1630.00; THENCE N 13°42'28" E FOR 314.43 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL OF LAND; THENCE S 89°38'27" W FOR 100.00 FEET; THENCE N 00°21'33" W FOR 100.00 FEET; THENCE N 89°38'27" E FOR 100.00 FEET; THENCE S 00°21'33" E FOR 100.00 FEET TO THE POINT OF BEGINNING. SAID PARCEL OF LAND SITUATE, LYING AND BEING IN DUVAL COUNTY, FLORIDA AND CONTAINING 10,000 SQUARE FEET OF LAND, MORE OR LESS.

NEXTOWER 30' WIDE INGRESS/EGRESS & UTILITIES EASEMENT

A 30-FOOT WIDE EASEMENT STRIP OF LAND FOR THE PURPOSES OF INGRESS/EGRESS AND UTILITIES LYING IN THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 1 SOUTH, RANGE 25 EAST, DUVAL COUNTY, FLORIDA, SAID EASEMENT LYING 15 FEET ON BOTH SIDES OF THE FOLLOWING DESCRIBED EASEMENT CENTERLINE:

COMMENCE AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER OF SECTION 30, SAID POINT SITUATE ON THE CENTERLINE OF CISCO DRIVE WEST (A 60-FOOT PUBLIC RIGHT OF WAY); THENCE SOUTH 89°38'27" WEST, ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF SECTION 30, FOR 1630.00; THENCE N 13°42'28" E FOR 314.43 FEET; THENCE S 89°38'27" W FOR 100.00 FEET; THENCE S 00°21'33" E FOR 15.00 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED EASEMENT CENTERLINE; THENCE N 89°38'27" E FOR 379.11 FEET TO A POINT OF CURVATURE OF A TANGENT CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 45.00 FEET; THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 89°01'23" FOR 69.92 FEET TO THE POINT OF TANGENCY; THENCE N 00°37'04" E FOR 734.56 FEET TO THE POINT OF CURVATURE OF A TANGENT CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 35.00 FEET; THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 91°01'46" FOR 55.61 FEET TO THE POINT OF TANGENCY; THENCE S 89°35'18" W FOR 367.96 FEET TO A POINT OF CURVATURE OF A TANGENT CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 45.00 FEET; THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 91°01'46" FOR 71.49 FEET TO THE POINT OF TANGENCY; THENCE N 00°37'04" E FOR 260.19 FEET TO THE INTERSECTION WITH THE SOUTH LINE OF KEVIN ALLEN LANE (60' WIDE ROAD EASEMENT PER DESCRIPTION RECORDED IN OFFICIAL RECORDS BOOK 14740, PAGE 1918 OF THE PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA) AND THE POINT OF TERMINUS. THE SIDELINES OF SAID EASEMENT TO BE SHORTENED AND PROLONGED TO MEET AT ANGLE POINTS, EASEMENT LINES, RIGHT-OF-WAY LINES AND LEASE PARCEL LINES.

TOGETHER WITH A 60' WIDE ROAD EASEMENT AS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 14740, PAGE 1918 OF THE PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA. SAID EASEMENT ALSO BEING KNOWN AS KEVIN ALLEN LANE.

KEVIN ALLEN LANE EASEMENT DESCRIPTION (O.R. 14740, PAGE 1918)

A 60' EASEMENT FOR INGRESS AND EGRESS KNOWN AS KEVIN ALLEN LANE. A PARCEL OF LAND BEING A PORTION OF THE SOUTHWEST 1/4 OF SECTION 30, TOWNSHIP 1 SOUTH, RANGE 25 EAST, DUVAL COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID SOUTHWEST 1/4 OF SECTION 30, SAID POINT, SITUATE ON THE CENTERLINE OF CISCO DRIVE WEST, (A 60' PUBLIC RIGHT OF WAY) THENCE SOUTH 89°38'27" WEST, ALONG THE SOUTH LINE OF SAID SOUTHWEST 1/4 OF SECTION 30, A DISTANCE OF 30.00 FEET TO THE WESTERLY RIGHT OF WAY LINE OF CISCO ROAD; THENCE NORTH 00°37'36" EAST, ALONG THE SAID WESTERLY RIGHT OF WAY LINE OF CISCO ROAD 1411.61 FEET TO THE NORTHEAST CORNER OF LANDS DESCRIBED IN OFFICIAL RECORDS VOLUME 13058, PAGE 1179, OF THE CURRENT PUBLIC RECORDS OF SAID COUNTY AND THE POINT OF BEGINNING; THENCE CONTINUE NORTH 00°37'36" EAST, ALONG SAID WESTERLY RIGHT OF WAY LINE, 60.01 FEET; THENCE SOUTH 89°34'47" WEST, 1863.50 FEET TO A POINT OF CURVE TO THE RIGHT AND HAVING A RADIUS OF 25.00 FEET; THENCE ALONG AND AROUND SAID CURVE TO THE RIGHT AN ARC DISTANCE OF 16.67 FEET TO A POINT OF REVERSE CURVE TO THE LEFT AND HAVING A RADIUS OF 45.00 FEET AFORESAID CURVE BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF NORTH 71°18'57" WEST, 16.36 FEET; THENCE ALONG AND AROUND SAID REVERSE CURVE TO THE LEFT AN ARC DISTANCE OF 201.40 FEET TO A POINT OF REVERSE CURVE TO THE RIGHT AND HAVING A RADIUS OF 25.00 FEET AFORESAID REVERSE CURVE BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF SOUTH 00°25'29" EAST, 70.71 FEET; THENCE ALONG AND AROUND SAID REVERSE CURVE TO THE RIGHT AN ARC DISTANCE OF 16.68 FEET TO A POINT OF TANGENT SAID CURVE BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF NORTH 70°28'23" EAST, 16.37 FEET; THENCE NORTH 89°34'47" EAST, 1862.39 FEET TO THE POINT OF BEGINNING.

STONECYPHER SURVEYING INC.

1225 NW 16TH AVENUE, GAINESVILLE, FLORIDA 32601

PHONE: 352-379-0948

FAA "2-C" CERTIFICATION

October 23, 2017

NexTower Development Group, LLC

4210 NW 37h Place, Suite 600
Gainesville, FL 32606

Site Name: **PRITCHARD ROAD**

Site Number: **NXFL-118**

Site Data: **Proposed 195' Monopole Tower**

Tower Information

Geographic Coordinates: Latitude – **30° 22' 45.74" North**
Longitude – **81° 50' 44.43" West**

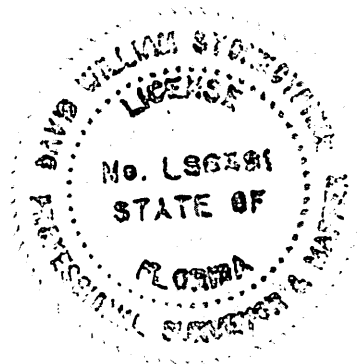
Ground Elevation: Base of Proposed Tower – **86.0' NAVD 88**

Certification

I hereby certify that the latitude of **30°22'45.74"** and the longitude of **81°50'44.43"** are within 50-feet horizontally, and that the ground elevation at the base of the tower of **86.0** feet is accurate to within 20-feet vertically. The horizontal datum (coordinates) are in terms of North American Datum of 1983/2011 (NAD 83/2011) and is expressed as degrees, minutes, and seconds, to the nearest hundredth of a second. The vertical datum (elevation) is in terms of the North American Vertical Datum of 1988 (NAVD 88) and is determined to the nearest foot.



David W. Stonecypher
Professional Surveyor and Mapper No. LS 6391
Stonecypher Surveying Inc. – Business No. LB 7810
State of Florida





June 29, 2017

RE: T-Mobile Site 9JK0496B Pritchard

To Whom It May Concern,

The intent of this letter is to specify reasons why T-Mobile Jacksonville, FL, RF Engineering Department, has deemed it necessary to pursue the build of Site 9JK0496B Pritchard. It is always T-Mobile's intent to utilize as many existing wireless facilities as possible to meet our objective and goals thus keeping the number of new build sites to a minimum. However, after a thorough investigation of our search ring area, no viable co-location candidates are available thus producing the need for our proposed site.

A primary objective of T-Mobile is to deliver the highest quality cellular service including LTE high speed data and advanced Voice over LTE (VoLTE) digital service backed by UMTS voice and data services. T-Mobile RF Engineering has determined enhancements are needed to improve and maintain our high standard of service in several areas surrounding the chosen location. These areas include a heavily travelled segment of Pritchard road, many current business and hotel locations along Pritchard Rd, and current residential customers in this area with lower in building penetration. T-Mobile RF engineering believes this site will greatly enhance the user experience in the area helping to alleviate both capacity issues and in building coverage problems.

Thank you for your time and consideration in this matter. Please feel free to contact T-Mobile RF Engineering with any questions or concerns regarding the design and placement of this proposed wireless facility.

Regards,
Oscar Brito
Manager | Engineering-RF Deployment
T-Mobile
7025 AC Skinner Pkwy | Jacksonville, FL 32256



Zoning Justification

9JK0496B – JACKSONVILLE

6/28/17

A tower search was performed for any tower located within one (1) Kilometer radius of the search ring location. This search was completed utilizing Google Earth, the Antenna Structure Registration section of the FCC, and other tower data bases and confirmed that there is no antenna structure registered within a (1) Kilometer radius as indicated in the attached Google Earth Map view of the site.

The existing coverage map (without 9JK0496B) shows a large gap in in building/ in car coverage.

The proposed location for site 9JK0496B would provide in building coverage to many businesses and residential houses in the areas around Pritchard Rd, Jacksonville, FL . west of I-295.

FCC ASR DATABASE SEARCH RESULTS

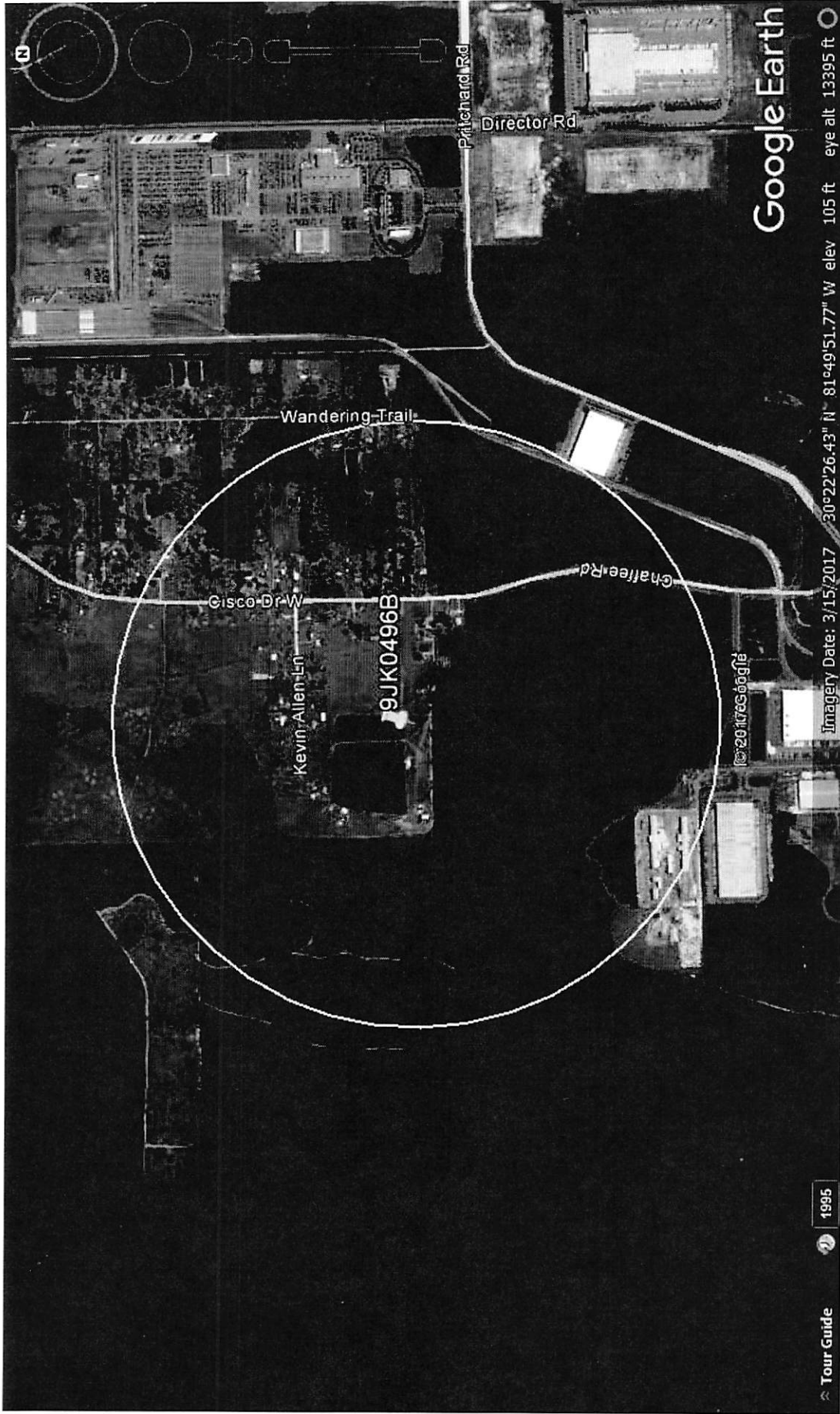
Specified Search

Latitude='30-22-43.7 N', Longitude='81-50-41.6 W', Radius=1 Kilometer

T-Mobile 9JK0496B

9JK0496B – 12094 Kevin Allen Lane
Jacksonville, FL, 32211
(Latitude = 30.37881944, Longitude = -81.84489440)

Search Ring Map



Primary design objective is to provide in building coverage to many businesses and residential houses in the areas around Pritchard Rd, Jacksonville, FL . west of I-295. Search ring radius is 1 Kilometer.

Search Ring Map

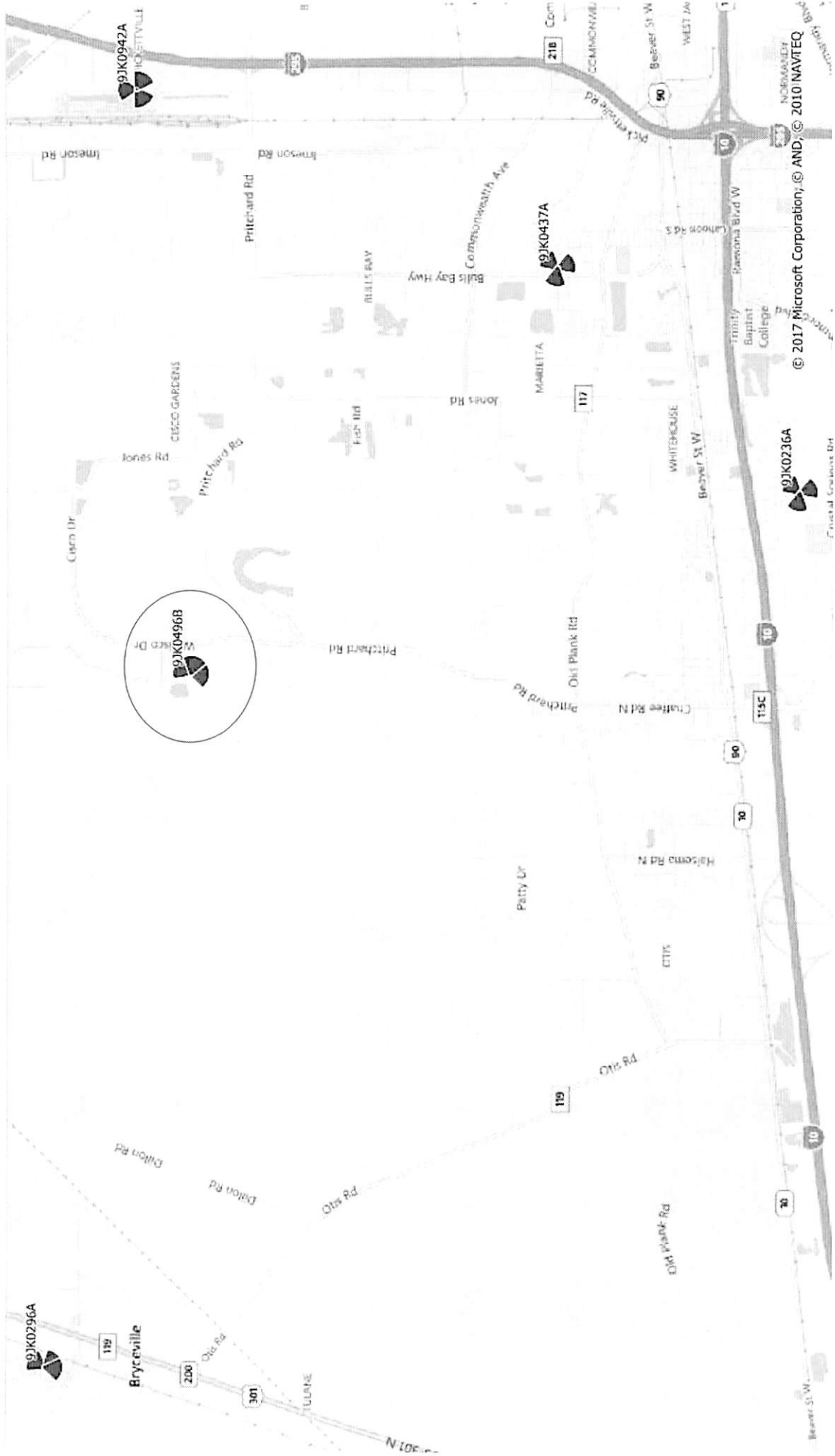


Primary design objective is to provide in building coverage to many businesses and residential houses in the areas around Pritchard Rd, Jacksonville, FL . west of I-295. Search ring radius is 1 Kilometer.

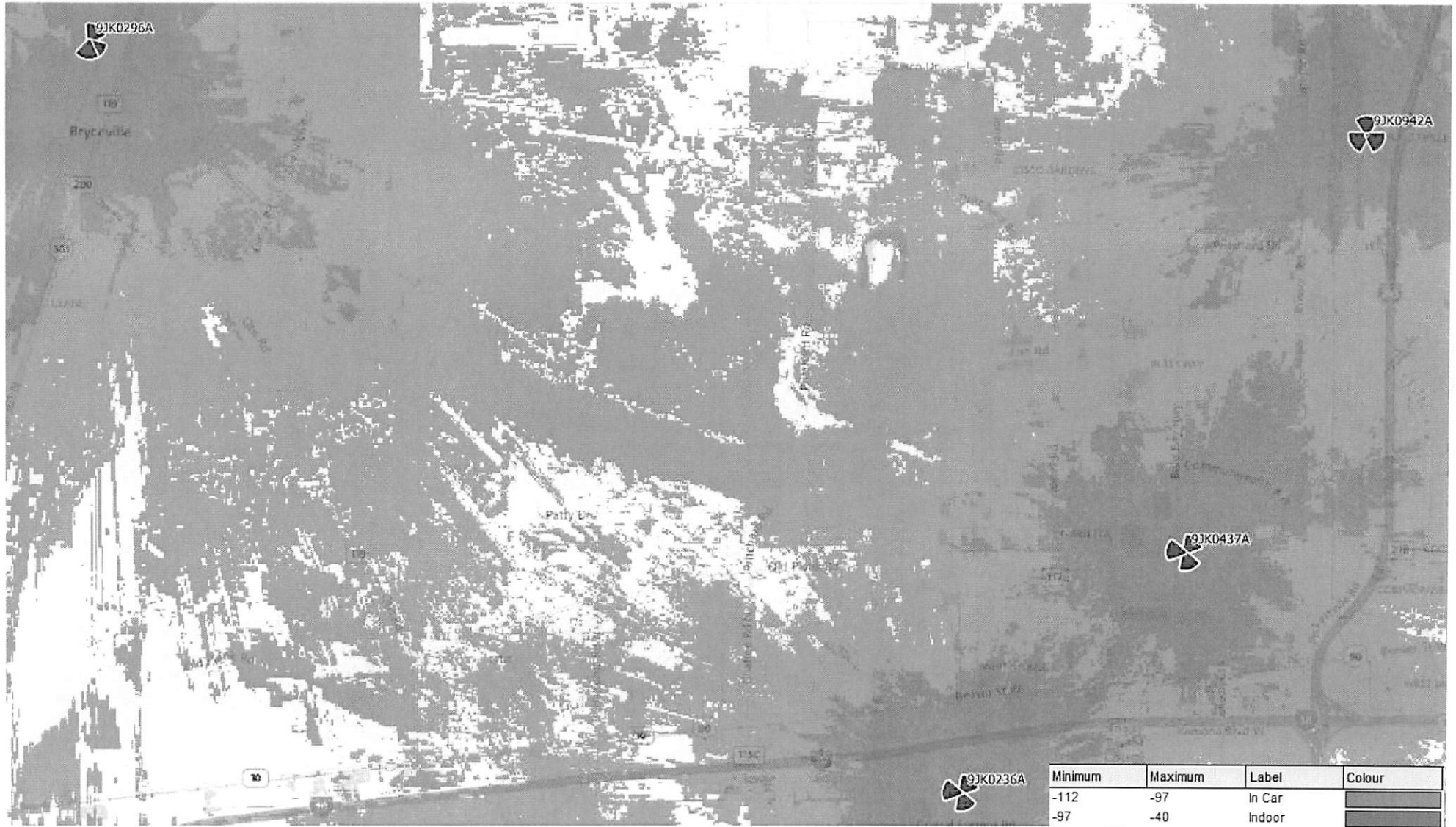
T-Mobile 9JK0496B

9JK0496B – 12094 Kevin Allen Lane
Jacksonville, FL, 32211
(Latitude = 30.37881944, Longitude = -81.84489440)

Site Location



In Building / In Car coverage without 9JK0496B



This plot show a large gap in coverage

T-Mobile 9JK0496B

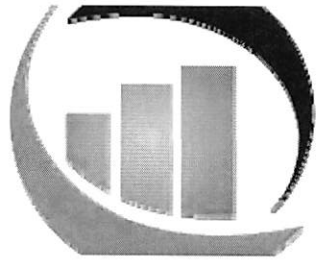
9JK0496B – 12094 Kevin Allen Lane
Jacksonville, FL, 32211
(Latitude = 30.37881944, Longitude = -81.84489440)

In Building / In Car coverage with 9JK0496B



This plot show a better coverage west of I295 and north of I10

Thank You



NextTower

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Pritchard Road

**PROPOSED 190'
MONOPOLE TOWER
with 5' appurtanances**

WIRELESS TELECOMMUNICATIONS FACILITY



Ehrke Enterprises, LLC

3441 NW 103rd Drive
Gainesville, Florida 32606
Phone: (352) 215-8539
Email: mesehrke@eellc.org

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(904) 436-2105

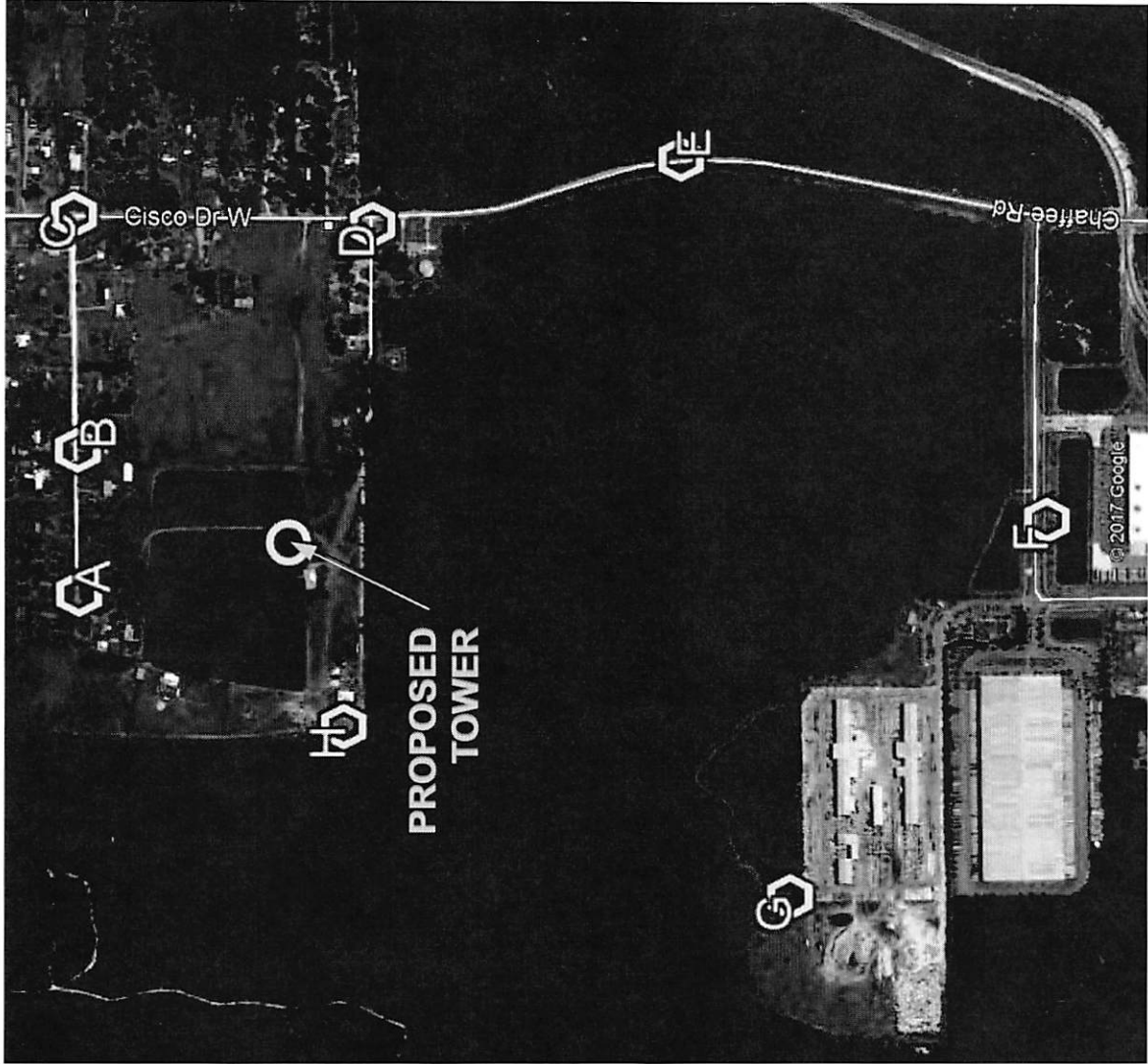
SHEET TITLE

Photographic Simulations 190' Monopole Tower
with 5' appurtanances

COVER SHEET

SHEET#

1



SHEET#

2

SHEET TITLE
 Photographic Simulations 190' Monopole Tower
 with 5' appurtenances

Photo Location Map

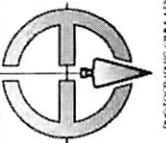


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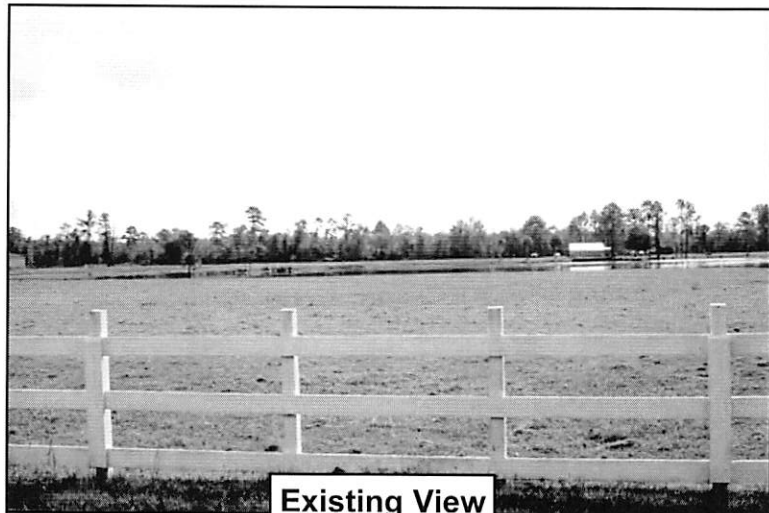
3020 Hartley Road, Suite-210
 Jacksonville, Florida 32257
 (904) 436-2105

Ehrke Enterprises, LLC

3441 NW 103rd Drive
 Gainesville, Florida 32606
 Phone (352) 215-8539
 Email: james@ehrke.com



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Existing View

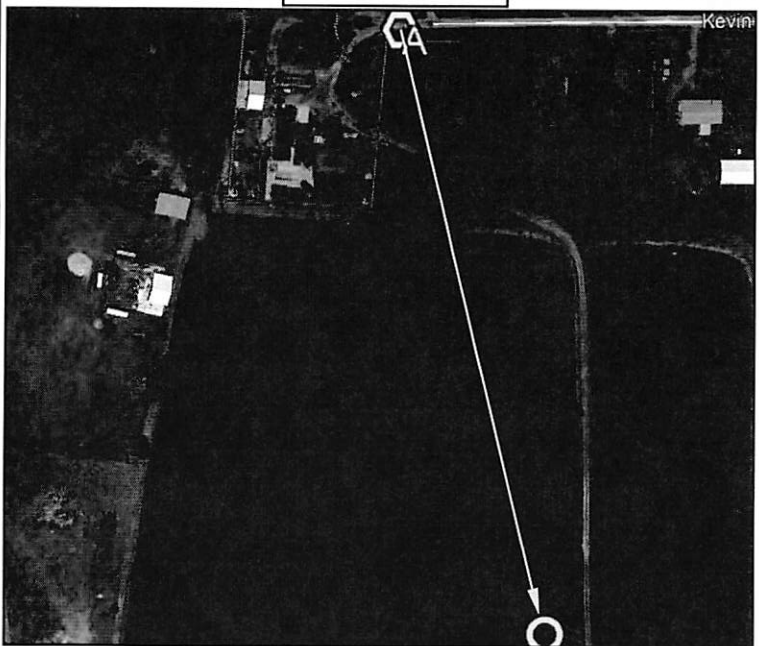


Photo Simulation of Proposed Tower from 1,075' looking Southeast.



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 Email: mesehrke@eellc.org



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SHEET TITLE
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 with 5' appurtenances

View A

SHEET#

3



Existing View

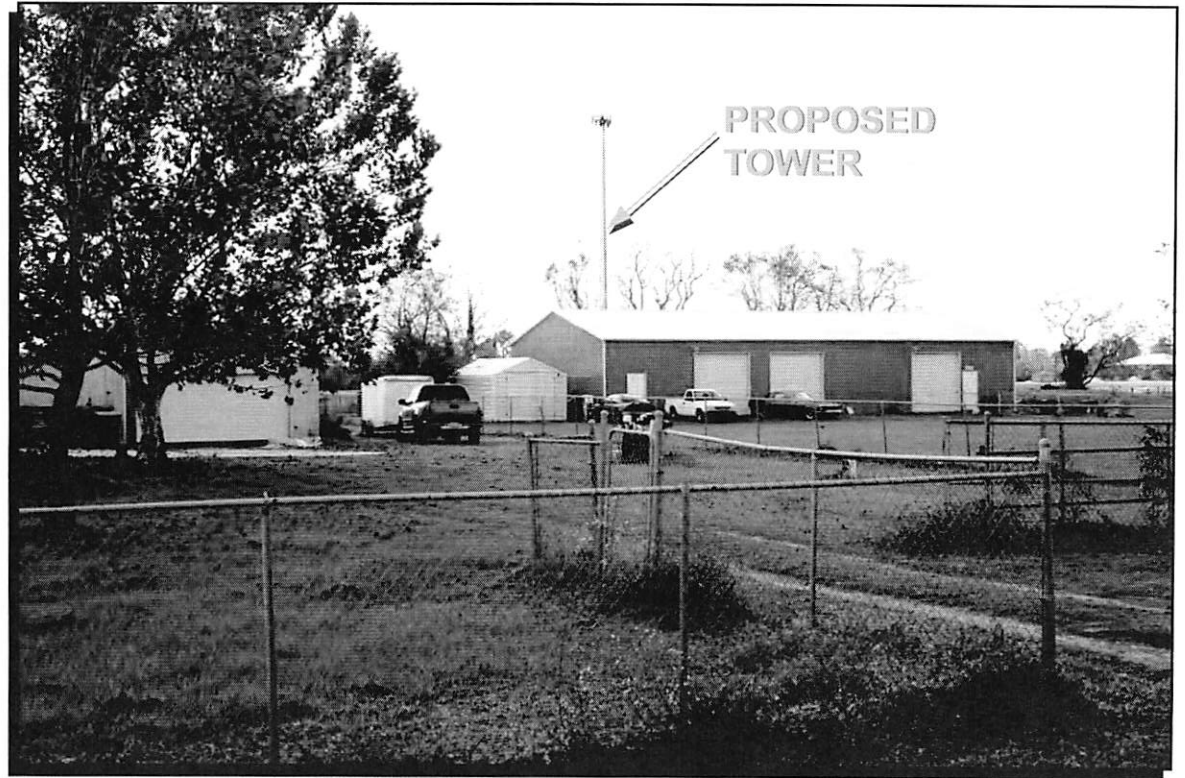
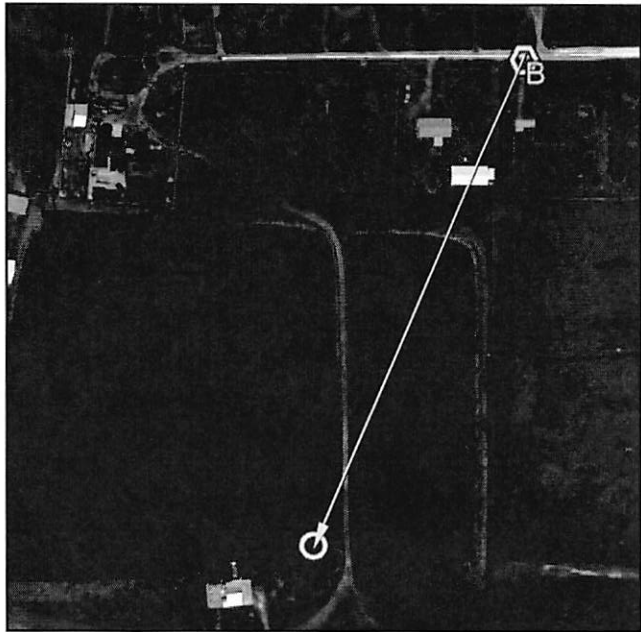


Photo Simulation of Proposed Tower from 1,152' looking Southwest.



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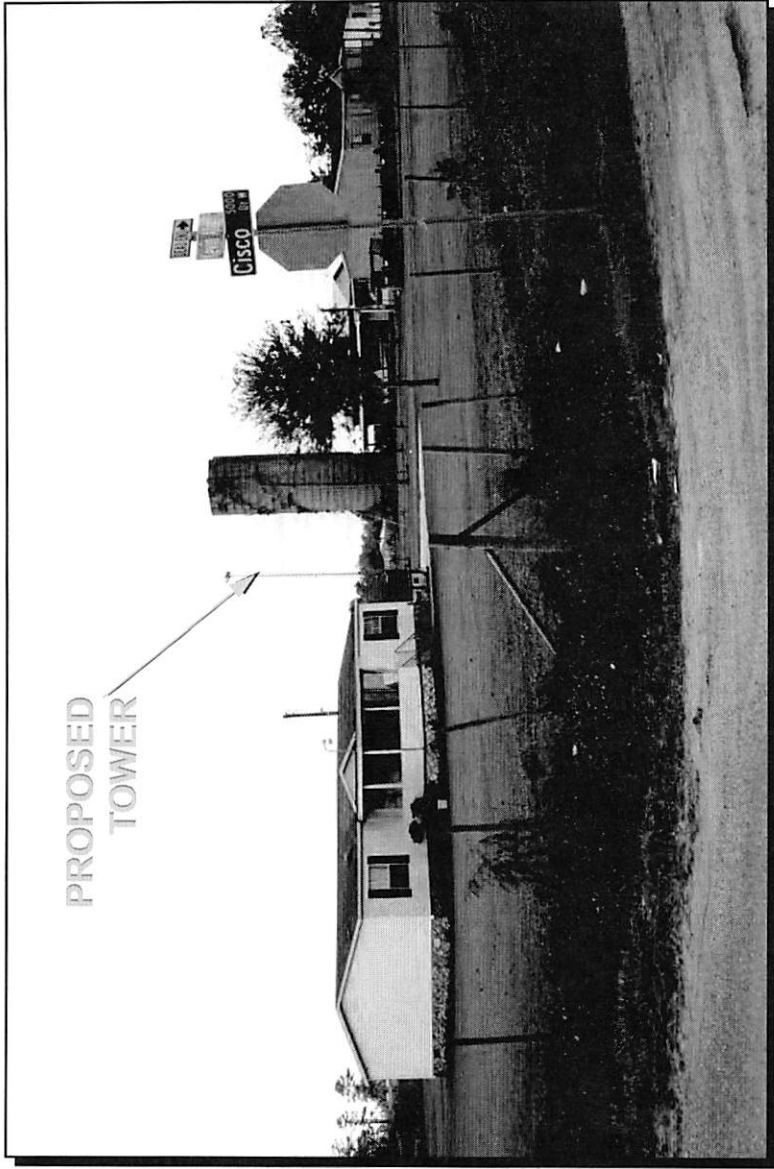
View B

SHEET#

4



Existing View



PROPOSED TOWER

Photo Simulation of Proposed Tower from 1,942' looking Southwest.



Ehrke Enterprises, LLC
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 Gainesville, Florida 32606
 Phone: (352) 215-8539
 Email: mesehrike@eeelc.org
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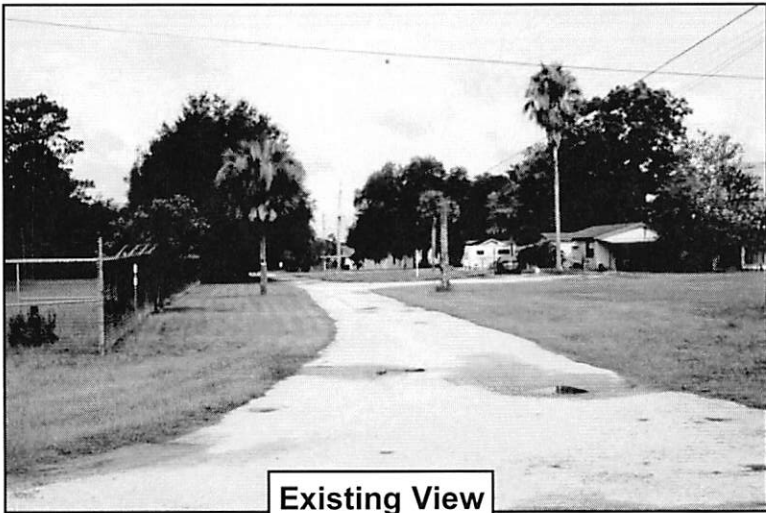


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SHEET#
5

SHEET TITLE
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 with 5' appurtenances

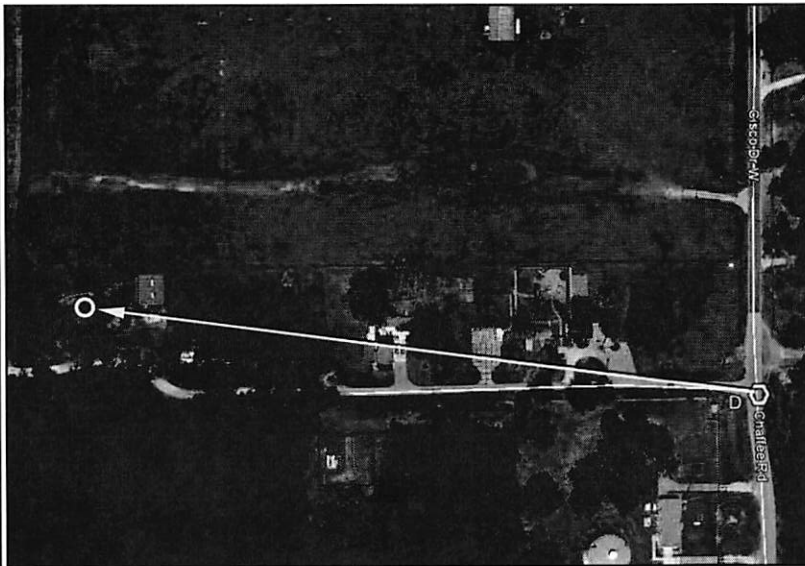
View C



Existing View



Photo Simulation of Proposed Tower from 1,133 looking West.



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Email: jamesehrke@eelic.org

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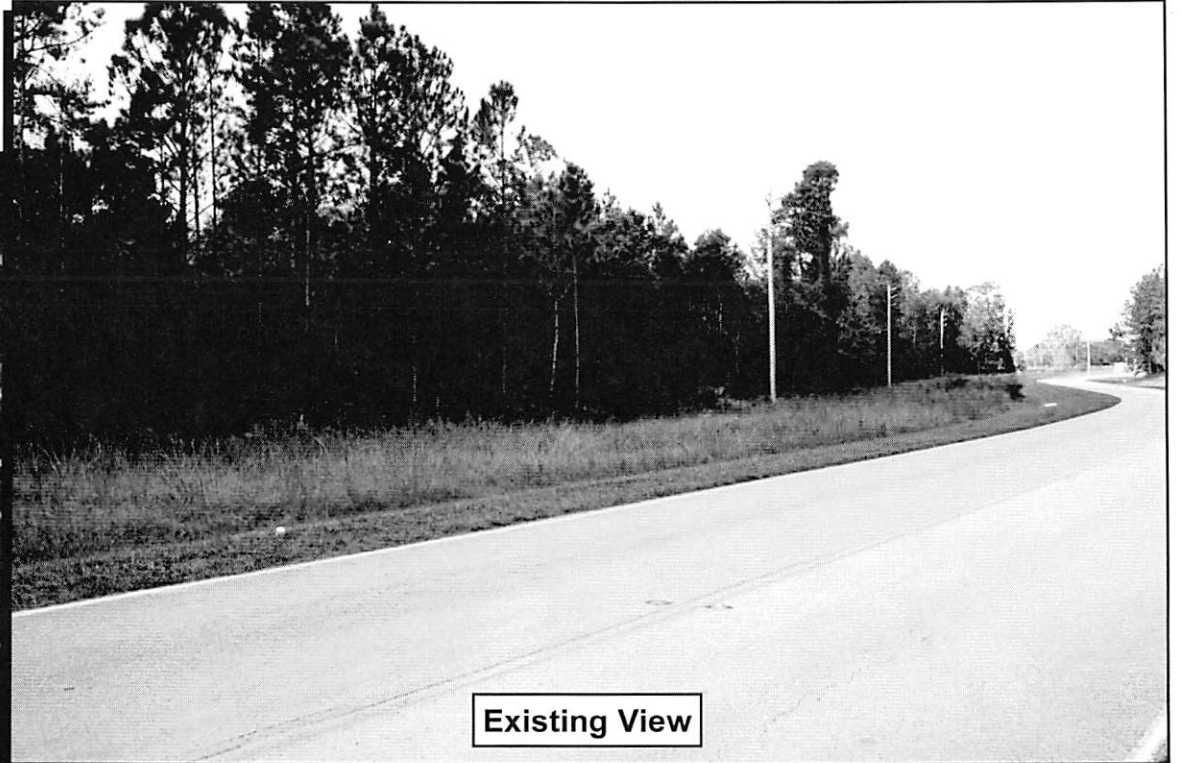
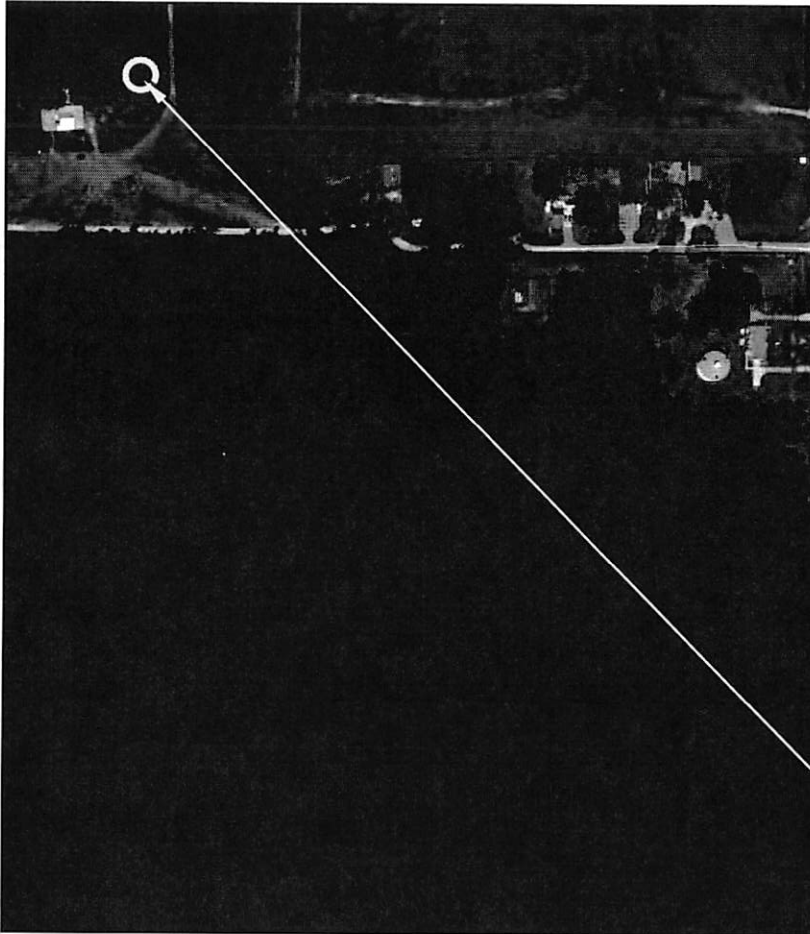
SHEET TITLE

Photographic Simulations 190' Monopole Tower
with 5' appurtenances

View D

SHEET#

6



Existing View

View Looking Northwest from 2,714'.
Proposed Tower not visible.



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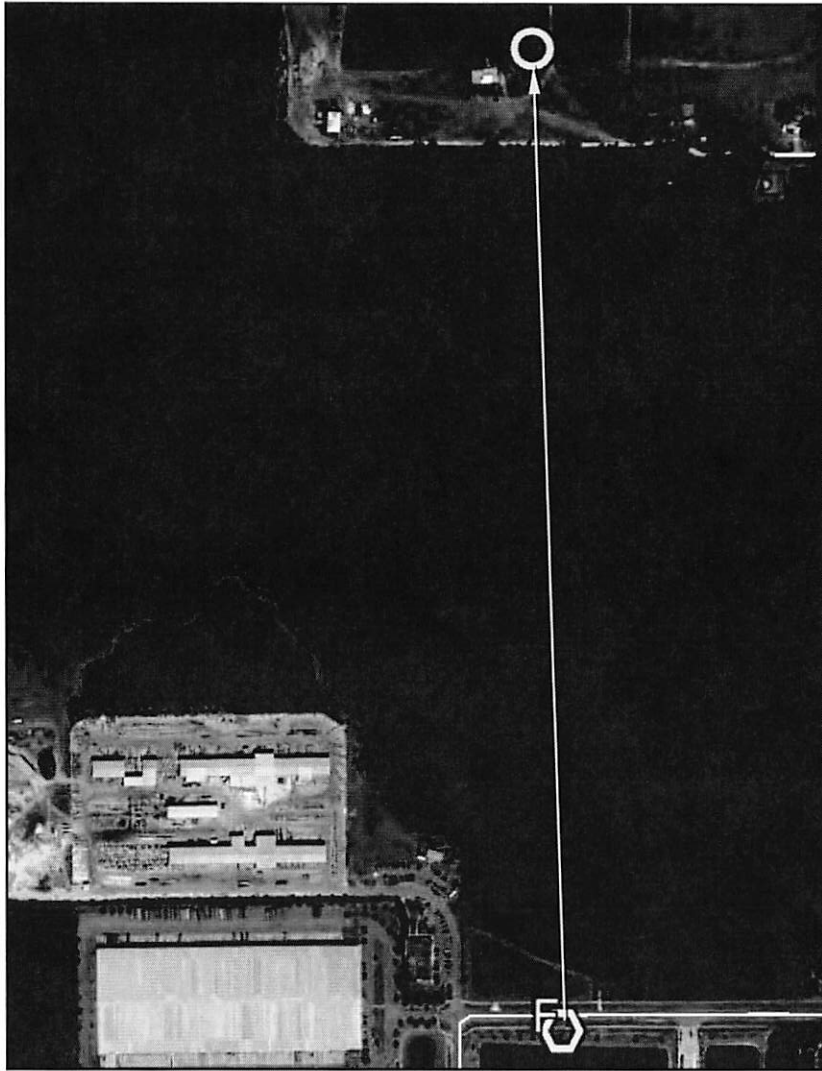


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SHEET TITLE
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VIEW E

SHEET#
7



Existing View

View Looking North
from 3,752'.
Proposed Tower not visible.



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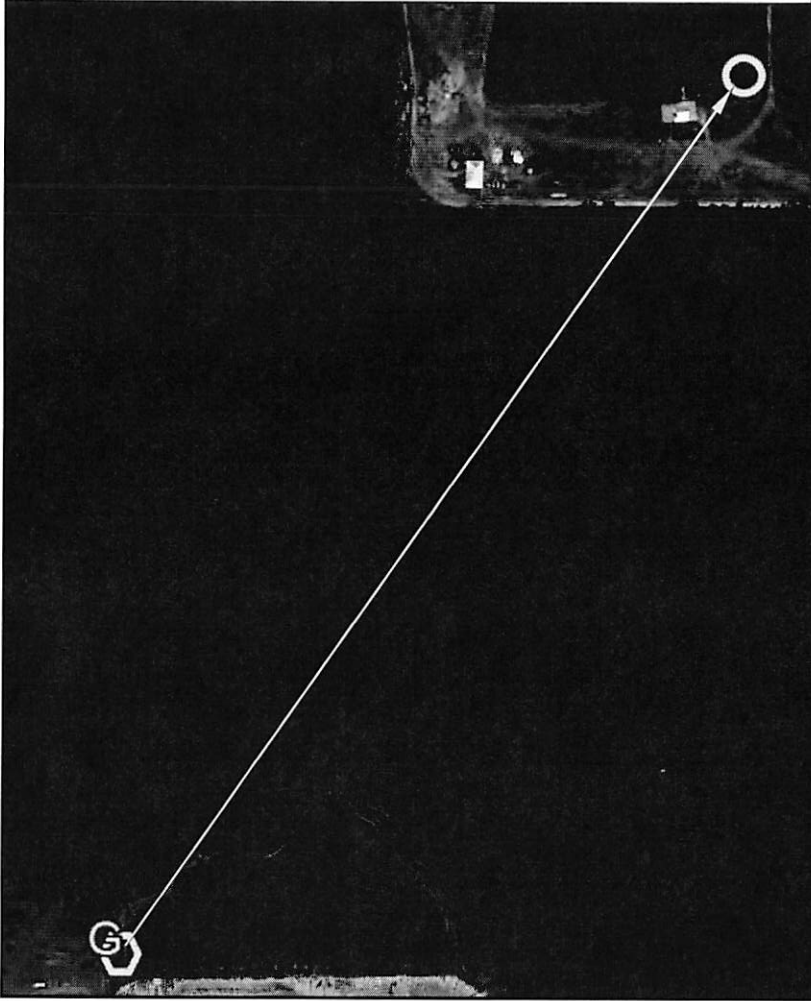
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SHEET TITLE
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with 5' appurtenances

VIEW F

SHEET#

8



Existing View

View Looking Northeast
from 3,036'.
Proposed Tower not visible.



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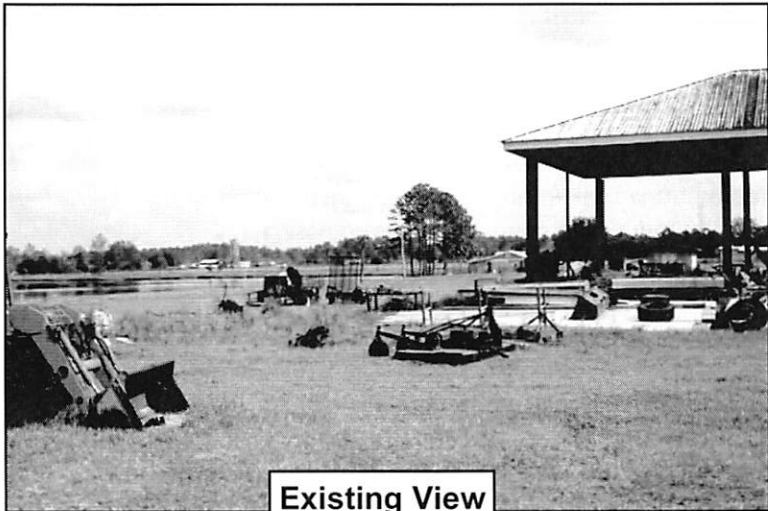


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with 5' appurtenances

VIEW G

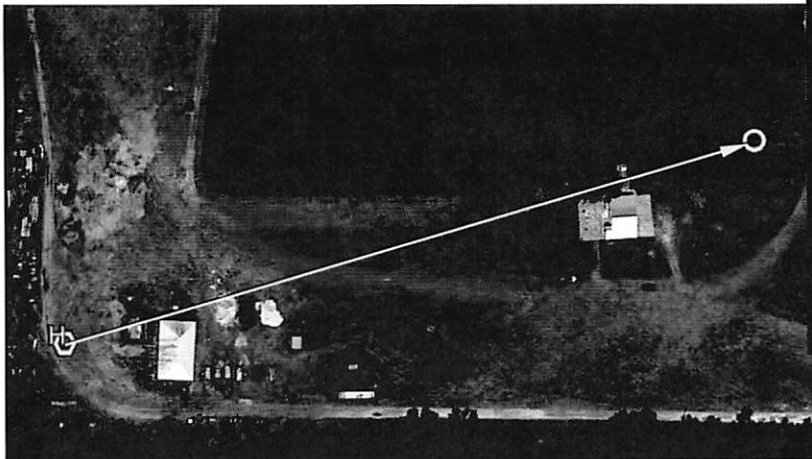
SHEET#
9



Existing View



Photo Simulation of Proposed Tower from 951' looking Northeast.



Ehrke Enterprises, LLC

3441 NW 103rd Drive
 Gainesville, Florida 32606
 Phone: (352) 215-8539
 Email: jamesehrke@eellc.org

PHOTOGRAPHIC SIMULATIONS • BALLOON TESTS • LAND SURVEYING • CAD SERVICES



NextTower
 YOUR SIGNAL IS OUR EXPERIENCE

3020 Hartley Road, Suite-210
 Jacksonville, Florida 32257
 (904) 436-2105

SHEET TITLE
 Photographic Simulations 190' Monopole Tower
 with 5' appurtenances

View H

SHEET#

10

The process used to generate the enclosed photo simulation is a quantitative approach, which precisely creates the effect or anticipated visual impact of proposed tall structures.

The computations utilized to prepare the simulation are based on the theory of photogrammetry, which is the science of measurement by means of photographs. The scale and position of objects in photographs vary according to the distance and position of the corresponding actual objects relative to the camera. The photogrammetric relationship between height and distance is an inverse proportionate relationship.

When necessary, both horizontal and oblique photographs are utilized to control the accurate placement of the simulated tall structure within the target photograph. The height of the proposed tall structure in the target photograph is based on data obtained from a certified balloon test performed at the proposed site.

Both reference photographs and target photographs are produced in digital format utilizing a fixed 50 mm camera lens and full frame digital camera.(35mm camera equivalent) A 50 mm camera lens is used because when combined with a 35 mm film format, it is considered to best approximate the viewpoint of the human eye.

The procedure utilized to produce our photo simulations is listed below:

- Reference photographs are taken of existing similar tall structures with known or measured heights, at a known distance from the tall structure.
- Target photographs are taken of the proposed tall structure location during a certified balloon test from various points of interest. Mapping Grade Hand Held GPS is used to determine the distance from the camera lens to the proposed tall structure location.
- Digital photographs are up-loaded into an image-editing program, which is utilized to generate the photo simulation.
- Based on reference photograph and target photograph intelligence, the pictorial height and placement of the simulated tall structure is calculated and placed within the target photograph.



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SHEET TITLE

Photographic Simulations 190' Monopole Tower
with 5' appurtenances

PHOTO SIMULATION METHODOLOGY

SHEET#

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To Whom It May Concern:

We hereby certify that on November 8, 2017, between the time of 1:45 PM and 2:30 PM, we positioned a four foot +/- diameter weather balloon at approximately 195 feet above ground level at Latitude 30° 22' 45.7" North and Longitude 81° 50' 44.4" West.

Please contact at me at (352) 215-8539 if I can provide additional information.

Ehrke Enterprises, LLC

James A. Ehrke

James A. Ehrke
Florida Registered Surveyor and Mapper
Certificate of Registration No. 6053



Ehrke Enterprises, LLC

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Gainesville, Florida 32606
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Email: jamesehrke@eellc.org

PHOTOGRAPHIC SIMULATIONS * BALLOON TESTS * LAND SURVEYING * CAD SERVICES



NextTower
YOUR SIGNAL IS OUR EXPERIENCE

3020 Hartley Road, Suite-210
Jacksonville, Florida 32257

(904) 436-2105

SHEET TITLE

Photographic Simulations 190' Monopole Tower
with 5' appurtenances

Balloon Test Certification

SHEET#

12



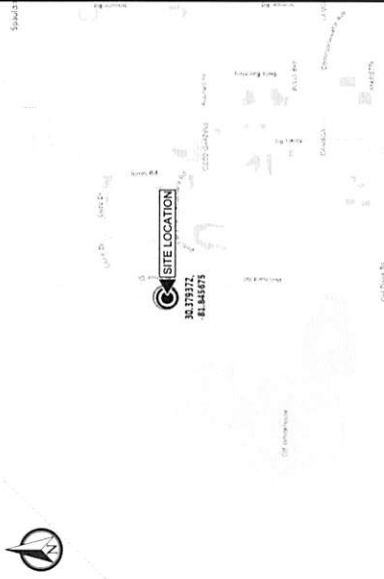
PRITCHARD ROAD FL

12094 KEVIN ALLEN LANE
 JACKSONVILLE, FLORIDA 32219
 (DUVAL COUNTY)

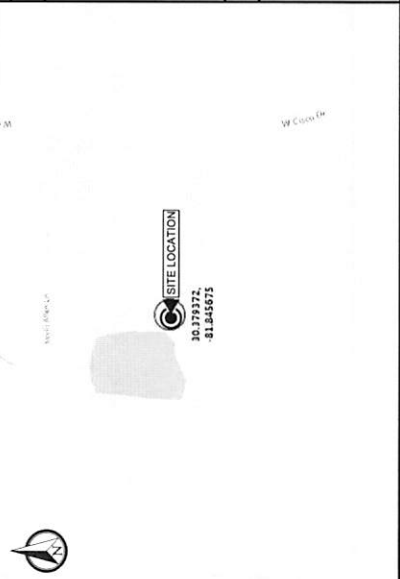
NXFL-118

PROPOSED COMMUNICATION FACILITY W/ PROPOSED 190' MONOPOLE TOWER

LOCAL MAP



VICINITY MAP



PROPERTY SUMMARY

PARCEL NUMBER
003325-0500

PROPERTY OWNER
COPE KEVIN ALLEN
4702 GISCO ROAD
JACKSONVILLE, FLORIDA 32219

LATITUDE
30.379372 N

LONGITUDE
-81.845675 W

ZONING JURISDICTION
DUVAL COUNTY

DESIGN CRITERIA

DESIGN WIND SPEED: 125 MPH (ULTIMATE 3-SEC GUST)
 EXPOSURE CATEGORY: C
 RISK CATEGORY: II
 OPEN STRUCTURE

CONTACTS

NEXTOWER
 4210 NW 37TH PLACE, SUITE 600
 GAINESVILLE, FLORIDA 32606

SNW ENGINEERING GROUP, INC. PROJECT MANAGER
 DARREN REVELS (813) 503-0218

PROJECT DESCRIPTION

1. THE WIRELESS COMMUNICATIONS FACILITY IS NOT INTENDED FOR HUMAN OCCUPANCY.
2. THIS FACILITY DOES NOT REQUIRE POTABLE WATER AND WILL NOT PRODUCE ANY SEWAGE.
3. CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.
4. THE SCOPE OF WORK CONSISTS OF MODIFYING THE EXISTING WIRELESS INSTALLATION:
 INSTALLATION OF (1) NEW 190' MONOPOLE TOWER
 INSTALLATION OF NEW WOOD FENCE
 INSTALLATION OF (1) 4 GANG METER CENTER
 INSTALLATION OF (1) TELCO ENCLOSURE
 INSTALLATION OF (1) UTILITY H-FRAME

CODE COMPLIANCE

- ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AND REGULATIONS, UNLESS OTHERWISE GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.
1. FLORIDA BUILDING CODE, 5TH EDITION (2014)
 2. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70, 2011 EDITION
 3. TIA-222-C WITH ADDENDUM 1 AND 2 APPLICABLE STANDARDS.
 4. LIFE SAFETY CODE NFPA-101-2015.
 5. AMERICAN FIRE PREVENTION CODE, 5TH EDITION.
 6. AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) 360-10
 7. UNDERWRITERS LABORATORIES (UL) APPROVED PRODUCTS.
 8. LOCAL JURISDICTIONAL REQUIREMENTS.
 9. CITY/COUNTY ORDINANCES.

INDEX OF DRAWINGS

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G1	GENERAL NOTES	0
C1	OVERALL SITE PLAN	0
C1.1	LEGAL DESCRIPTIONS	0
C1.2	TOWER SETBACKS	0
C1.3	LEASE AREA & EASEMENT DETAILS	0
C1.4	ZONING MAP	0
C2	COMPOUND PLAN	0
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C3	TOWER ELEVATION	0
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E6	GROUNDING DETAILS	0
S1	SURVEY SHEET 1	0
S2	SURVEY SHEET 2	0
S3	SURVEY SHEET 3	0

THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JEREMY D. SHARIT, PE. I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA. MY SIGNATURE IN ACCORDANCE WITH F.A.C. 61G15-23.004, WITH A DIGITAL CERTIFICATE ISSUED BY ENTRUST, INC. PLEASE VERIFY ITS PROPERTIES. I HAVE PRINTED COPIES OF THIS DOCUMENT. ARE NOT CONSIDERED SIGNED AND SEALED, AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

REV	DATE	DESCRIPTION
A	11/20/17	PRELIM PLANS
0	12/17/17	FINAL PLANS ISSUED

PROJECT NO.:	17-0753
DRAWN BY:	M. THOMAS
PROJECT MANAGER:	D. REVELS
CHECKED BY:	D. REVELS

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TOGETHER PLANNING A BETTER TOMORROW

12031 TELECOM PARKWAY, SUITE 100
 TEMPLE TERRACE, FLORIDA 32607
 (913) 619-1422

CERTIFICATE OF AUTHORIZATION 28797

4210 NW 37TH PLACE, SUITE 600
 GAINESVILLE, FLORIDA 32606

JEREMY D. SHARIT PE FL LIC 75137

PRITCHARD ROAD FL
 NXFL-118
 12094 KEVIN ALLEN LANE
 JACKSONVILLE, FLORIDA 32219
 (DUVAL COUNTY)

SHEET NAME
 TITLE SHEET
 SHEET NUMBER

T1

GENERAL NOTES

1. FOR THE PURPOSES OF THESE CONSTRUCTION DRAWINGS, THE FOLLOWING DEFINITIONS SHALL APPLY:

- OWNER - NEXTOWER
- ENGINEER - SMM ENGINEERING GROUP, INC.
- CONTRACTOR - GENERAL CONTRACTOR (CONSTRUCTION)

2. PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL VISIT THE JOB SITE IN ORDER TO (1) VERIFY ALL EXISTING CONDITIONS, (2) CONFIRM WHETHER ALL DIMENSIONS ARE AS SHOWN ON THE PLANS AND (3) CONFIRM WHETHER THE LABOR AND MATERIALS SHALL BE FURNISHED AS REQUIRED FOR COMPLETE SYSTEMS, INCLUDING ALL ELEMENTS OBVIOUSLY OR REASONABLY INCIDENTAL TO A COMPLETE INSTALLATION, WHETHER OR NOT SPECIFICALLY INDICATED ON THE PLANS.
6. FOR TASKS REQUIRED TO BE PERFORMED BUT NOT CLEARLY DENIED OR IDENTIFIED BY THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOT START WORK ON SUCH TASKS WITHOUT HAVING RECEIVED WRITTEN AUTHORIZATION FROM THE CONSTRUCTION MANAGER TO PROCEED.
7. THE DRAWINGS ARE DIAGNOSTIC AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND EQUIPMENT UNLESS OTHERWISE INDICATED BY DIMENSIONS OR DETAILS. EXACT EQUIPMENT LOCATIONS MAY BE MODIFIED AS REQUIRED BY ACTUAL FIELD CONDITIONS. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE ENGINEER AND THE CONSTRUCTION MANAGER.
8. THE CONTRACTOR SHALL OBTAIN, PAY FOR AND DELIVER ALL REQUIRED PERMITS, CERTIFICATES OF INSPECTION, INCLUDING UTILITY CONNECTION FEES, ETC., REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND SHALL DELIVER SUCH DOCUMENTS TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF THE WORK.
9. THE CONTRACTOR'S OPERATIONS SHALL BE CONFINED TO AREAS OF NEW CONSTRUCTION.
10. ALL NECESSARY PROVISIONS SHALL BE MADE TO PROTECT EXISTING IMPROVEMENTS, PAVING, CURBS, GALVANIZED SURFACES, ETC., AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SAME RESULTING FROM THE CONSTRUCTION WORK. ALL DISTURBED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR BETTER UPON COMPLETION OF ALL WORK TO THE SATISFACTION OF THE CONSTRUCTION MANAGER.
11. THE FOLLOWING CLEARANCE TASKS SHALL BE PERFORMED AS FOLLOWS: (1) ON A DAILY BASIS, KEEP THE GENERAL AREA CLEAN AND HAZARD FREE, REMOVING ALL WASTE, DEBRIS AND TRASH FROM THE SITE AND DISPOSING OF SAME IN A LEGAL MANNER; (2) UPON COMPLETION, LEAVE THE PREMISES IN A CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE; (3) UPON COMPLETION, CONSTRUCTION AND CONSTRUCTION STAGING AREA SHALL BE LEFT IN AS GOOD OR BETTER CONDITION THAN PRIOR TO CONSTRUCTION.
12. ALL EQUIPMENT AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE RESPECTIVE MANUFACTURER'S RECOMMENDATIONS EXCEPT WHERE IT IS SPECIFICALLY INDICATED OTHERWISE IN THE CONTRACT DOCUMENTS OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
13. ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY HAVING JURISDICTION OVER THE PERFORMANCE OF THE WORK. MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AS WELL AS LOCAL AND STATE CODES, ORDINANCES AND APPLICABLE REGULATIONS.
14. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AT ALL TIMES, USING THE BEST SKILLS AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL OF THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK, INCLUDING CONTACT AND COORDINATION WITH THE CONSTRUCTION MANAGER AND WITH THE OWNER'S AUTHORIZED REPRESENTATIVE.
15. WITHIN TEN (10) WORKING DAYS AFTER PROPER COMPLETION, THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF AS-BUILT DRAWINGS, SWEEP TEST, CINDER TESTS, LEAK RELEASES, AND OTHER CLOSEOUT DOCUMENTATION AS REQUIRED BY THE OWNER. ALL SYSTEMS SHALL BE COMPLETELY ASSEMBLED, TESTED, ADJUSTED AND DEMONSTRATED TO BE READY FOR OPERATION PRIOR TO THE OWNER'S ACCEPTANCE.

STRUCTURAL STEEL NOTES

1. MATERIALS:
 - A. ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE LATEST EDITION OF THE AISC "STEEL CONSTRUCTION MANUAL".
 - B. ALL STRUCTURAL STEEL WF BEAMS SHALL BE ASTM A992 AND "HOT DIPPED" GALVANIZED IN ACCORDANCE WITH ASTM A153 STANDARDS.
 - C. ALL STRUCTURAL PLATES, ANGLES, AND CHANNELS SHALL BE ASTM A36 AND "HOT DIPPED" GALVANIZED IN ACCORDANCE WITH ASTM A153 STANDARDS.
 - D. ALL STRUCTURAL PIPE MEMBERS SHALL BE ASTM A500 GRADE B (Fy=46ksi), AND "HOT DIPPED" GALVANIZED IN ACCORDANCE WITH ASTM A153 AND ASTM A153 STANDARDS.
 - E. ALL STRUCTURAL PIPE MEMBERS SHALL BE ASTM A500 GRADE B (Fy=42ksi), AND "HOT DIPPED" GALVANIZED IN ACCORDANCE WITH ASTM A153 AND ASTM A153 STANDARDS.
 - F. ALL NON-STRUCTURAL PIPE MEMBERS SHALL BE ASTM A53 GRADE B, AND "HOT DIPPED" GALVANIZED IN ACCORDANCE WITH ASTM A153 AND ASTM A153 STANDARDS.
2. DESIGN, FABRICATION, AND CONSTRUCTION OF ALL CONNECTIONS SHALL CONFORM TO AISC STEEL CONSTRUCTION MANUAL.
3. WELDING:
 - A. ALL WELDS, WELDERS, AND WELD INSPECTIONS SHALL CONFORM TO THE REQUIREMENTS OF AWS D 1.1, LATEST REVISION.
 - B. ALL WELDS SHALL BE MADE WITH E70XX LOW HYDROGEN ELECTRODES.
 - C. ALL STEEL SHALL BE SPRAY GALVANIZED AFTER WELDING.
 4. ALL BOLTS SHALL BE GALVANIZED "N" DIAMETER, A325-N, UNLESS NOTED OTHERWISE TO A "SNUG TIGHT" CONDITION AS DEFINED BY AISC. SECURE NUT WITH LOCKING WASHER.
 5. ANCHOR BOLTS SHALL CONFORM TO ASTM A307, UNLESS NOTED OTHERWISE.
 6. THE CONTRACTOR/STEEL FABRICATOR SHALL LOCATE ANY REINFORCEMENT IN THE STRUCTURAL MEMBERS IN SUCH A MANNER SO THAT THERE WILL NOT BE CONFLICT WITH THE REINFORCEMENT WHEN INSTALLING ANCHORS. THE ANCHORS SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTION.
 7. THE CONTRACTOR/STEEL FABRICATOR SHALL CONFORM TO THE MINIMUM EDGE DISTANCE REQUIREMENTS IN ACCORDANCE WITH THE AISC MANUAL OF STEEL CONSTRUCTION.
 8. ALL STRUCTURAL STEEL SHALL BE FABRICATED TO FIT AT BOLTED CONNECTIONS WITHIN 1/8" TOLERANCE. STRUCTURAL STEEL SHALL NOT BE FLAME CUT UNDER ANY CIRCUMSTANCES WITHOUT APPROVAL OF THE ENGINEER.
 9. THE CONTRACTOR/STEEL FABRICATOR SHALL CAP OR SEAL ALL PIPES AS REQUIRED TO PREVENT RAINWATER INTRUSION.
 10. THE CONTRACTOR/STEEL FABRICATOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO ANY STEEL FABRICATION. AT THE CONTRACTOR'S OPTION, FIELD SPICES MAY BE USED FOR ERECTION PURPOSES. IF FIELD SPICES ARE USED, THE SHOP DRAWINGS SHALL INCLUDE ALL DETAILS FOR THE PROPOSED FIELD SPICES.
 11. AT THE CONTRACTOR'S OPTION, SHOP WELDS MAY BE USED INSTEAD OF FIELD WELDS.
 12. SUBMIT ORIGINAL SHOP DRAWINGS, INCLUDING COMPLETE DETAILS, SCHEDULES OF FABRICATION AND ASSEMBLY, PROCEDURES, AND DIAGRAMS. INCLUDE DETAILS OF CUTS, CONNECTIONS, CAMBER, HOLE, LENGTH, AND TYPE OF WELD. PROVIDE SETTING DRAWINGS, TEMPLATES, AND DIRECTIONS FOR INSTALLATION OF ANCHOR BOLTS AND OTHER ANCHORAGES TO BE INSTALLED AS WORK OF OTHERS' SECTIONS.

SITE WORK NOTES

1. THE APPROPRIATE UTILITY LOCATING SERVICES SHALL BE CONTACTED PRIOR TO THE START OF CONSTRUCTION IN ORDER TO VERIFY THE EXACT LOCATION OF ALL EXISTING UNDERGROUND UTILITIES.
2. THE INSTALLATION OF NEW UTILITIES SHALL BE COORDINATED WITH LOCAL AUTHORITIES.
3. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES. WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SUCH UTILITIES SHALL BE RELOCATED AS DIRECTED BY THE CONSTRUCTION MANAGER. EXTREME CAUTION SHALL BE USED WHEN EXCAVATING OR DRILLING PILES AROUND OR NEAR UTILITIES.
4. RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
5. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES THAT INTERFERE WITH THE EXECUTION OF THE WORK SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS THAT WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK. BE SUBJECT TO THE APPROVAL OF THE LANDLORD AND/OR LOCAL UTILITIES.
6. DISTURBANCE TO THE EXISTING SITE DURING CONSTRUCTION SHALL BE MINIMIZED.
7. ANY AREAS OF THE CONSTRUCTION SITE DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE. SUCH GRADING SHALL CAUSE SURFACE WATER TO FLOW AWAY FROM ANY EQUIPMENT SHELTER AND TOWER AREAS AND THE SOIL SHALL BE STABILIZED TO PREVENT EROSION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
8. THE SUB-GRADE SHALL BE COMPACTED AND BROUGHT TO A UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
9. BACKFILL SHALL CONSIST OF CLEAN SAND FILL APPROVED FOR USE BY THE ENGINEER. NO UNAPPROVED MATERIAL WILL BE ALLOWED. CLEAN SAND FILL SHALL BE FREE OF ALL ROOTS, BOULDERS, OR OTHER DELETERIOUS MATERIAL.
10. THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO EQUAL TO OR BETTER CONDITION THAN ORIGINAL.
11. SITE SIGNAGE SHALL BE PROVIDED IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS FOR SUCH SIGNAGE AS MAY BE CONTAINED IN THESE DRAWINGS.

2

3

PRITCHARD ROAD FL
NXFL-118
SHEET NAME
GENERAL NOTES
SHEET NUMBER

THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JEREMY D. SHART, PE. (F01517) ON DECEMBER 18, 2017 USING A DIGITAL SIGNATURE IN ACCORDANCE WITH F.A.C. 61G15-23.004, WITH A DIGITAL CERTIFICATE ISSUED BY GENIUS11, INC. TO VIEW THE SIGNATURE AND VERIFY ITS PROPERTIES, PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.
JEREMY D. SHART PE FL LIC 75137

12051 TELFORD PARKWAY, SUITE 100
TEMPLE TERRACE, FLORIDA 33637
(813) 615-4422
CERTIFICATE OF AUTHORIZATION 28767



410 NORTHWEST 37TH PLACE, SUITE 600
DADE COUNTY, FLORIDA 33060

TOGETHER PLANNING A BETTER TOMORROW
SMM
ENGINEERING GROUP, INC.

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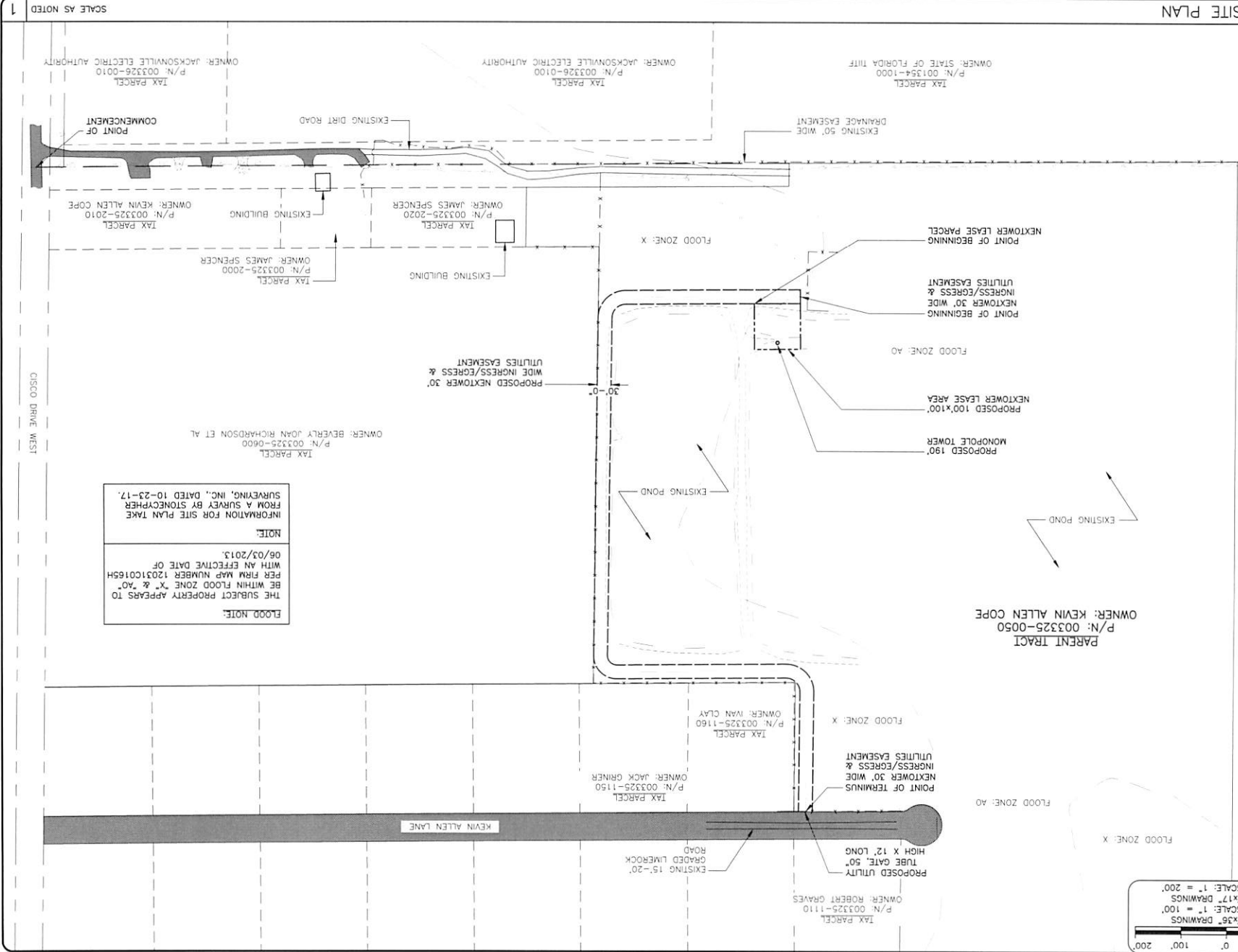
REV	DATE	DESCRIPTION
A	11/20/17	PRELIM PLANS
0	12/17/17	FINAL PLANS ISSUED
PROJECT NO.: 17-5753		
DRAWN BY: M. THOMAS		
PROJECT MANAGER: D. REVELS		
CHECKED BY: D. REVELS		

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OVERALL SITE PLAN



FOR 24"x36" DRAWINGS
GRAPHIC SCALE: 1" = 100'
FOR 11"x17" DRAWINGS
GRAPHIC SCALE: 1" = 200'



FLOOD NOTE:
THE SUBJECT PROPERTY APPEARS TO BE WITHIN FLOOD ZONE "X" & "AO" PER FIRM MAP NUMBER 12031C0165H WITH AN EFFECTIVE DATE OF 06/03/2013.
INFORMATION FOR SITE PLAN TAKE FROM A SURVEY BY STONECYPHER SURVEYING, INC., DATED 10-23-17.

C1
SHEET NUMBER
SITE PLAN
OVERALL
SHEET NAME
12094 KEVIN ALLEN LANE
JACKSONVILLE, FLORIDA 32219
NXFL-118
PRITCHARD ROAD FL

THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY BREWERY D. SHARIT, PE (#75137) ON DECEMBER 18, 2017 USING A DIGITAL SIGNATURE IN ACCORDANCE WITH F.S.C. 61019-23.004, WITH A DIGITAL CERTIFICATE ISSUED BY ENTRUST, INC. PLEASE REFER TO SHEET 11 TO VIEW THE SIGNATURE AND VERIFY ITS PROPERTIES. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.
BREWERY D. SHARIT, PE, FL LIC 75137

4210 NORTHWEST 37TH PLACE, SUITE 600
GAINESVILLE, FLORIDA 32608
Nextower
PROFESSIONAL ENGINEERING & ARCHITECTURE

12021 FELICIA PARKWAY, SUITE 100
TEMPLE TERRACE, FLORIDA 32637
(813) 615-1422
CERTIFICATE OF AUTHORIZATION 28787
SMI ENGINEERING GROUP, INC.
FOUNDER PLANNING & DESIGN

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REV	DATE	DESCRIPTION
A	11/20/17	PRELIM PLANS
0	12/17/17	FINAL PLANS ISSUED

PROJECT NO.:	17-5753
DRAWN BY:	M. THOMAS
CHECKED BY:	D. REVELS
PROJECT MANAGER:	D. REVELS

SCALE AS NOTED

REV	DATE	DESCRIPTION
A	11/20/17	PRELIM PLANS
0	12/07/17	FINAL PLANS ISSUED

PROJECT NO:	17-5953
DRAWN BY:	M. THOMAS
PROJECT MANAGER:	D. REVELS
CHECKED BY:	D. REVELS

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SHM
ENGINEERING GROUP, INC.
TOGETHER PLANNING A BETTER TOMORROW

13201 TELECOM PARKWAY, SUITE 100
TEMPLE TERRACE, FLORIDA 33637
(813) 915-1422
CERTIFICATE OF AUTHORIZATION: 28787

NexTower
A COMMERCIAL REAL ESTATE COMPANY

410 NORTHWEST 37TH AVENUE, SUITE 600
GAINESVILLE, FLORIDA 32609

PROJECT MANAGER:	D. REVELS
CHECKED BY:	D. REVELS

THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JEREMY D. SHART, PE (FLS) 10008 KEVIN ALLEN LANE JACKSONVILLE, FLORIDA 32219 IN ACCORDANCE WITH F.A.C. 61015-23.004. WITH A DIGITAL CERTIFICATE OF AUTHORIZATION. PLEASE REFER TO SHEET 11 TO VIEW THE SIGNATURE AND VERIFY ITS PROPERTIES. PRINTED COPIES ARE NOT SIGNED AND NOT CONSIDERED SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

JEREMY D. SHART PE FL LIC 75137

PRITCHARD ROAD FL

NXFL-118

12004 KEVIN ALLEN LANE JACKSONVILLE, FLORIDA 32219

SHEET NAME
LEGAL

DESCRIPTIONS

SHEET NUMBER
C.11

PARENT TRACT DESCRIPTION (O.R. 14439, PAGE 2346)

A PARCEL OF LAND BEING A PORTION OF THE SOUTHWEST 1/4 OF SECTION 30, TOWNSHIP 1 SOUTH, RANGE 25 EAST, DUVAL COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHEAST CORNER OF SAID SOUTHWEST 1/4 OF SECTION 30, SAID POINT SITUATE ON THE CENTERLINE OF CISCO DRIVE WEST (A 60'-FOOT PUBLIC RIGHT OF WAY); THENCE SOUTH 89°38'27" WEST, ALONG THE SOUTH LINE OF SAID SOUTHWEST 1/4 OF SECTION 30, A DISTANCE OF 1630.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 00°31'33" EAST, ALONG THE WEST LINE OF SAID SECTION 30, A DISTANCE OF 1750.06 FEET TO THE NORTHWEST CORNER OF THOSE CERTAIN LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 14059, PAGE 1277 OF THE CURRENT PUBLIC RECORDS OF SAID COUNTY; THENCE NORTH 89°35'18" EAST, ALONG THE NORTH LINE OF THE SAID LANDS, A DISTANCE OF 726.34 FEET TO THE NORTHWEST CORNER OF THOSE CERTAIN LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 11435, PAGE 1976 OF SAID CURRENT PUBLIC RECORDS; THENCE SOUTH 89°35'18" EAST, ALONG THE WEST LINE OF THE SAID LANDS, A DISTANCE OF 114.55 FEET TO THE WESTERLY RIGHT OF WAY LINE OF THE AFORESAID CISCO DRIVE WEST; THENCE WESTERLY ALONG THE WESTERLY RIGHT OF WAY LINE OF THE AFORESAID CISCO DRIVE WEST, A DISTANCE OF 281.00 FEET TO A POINT AT THE SOUTHWEST CORNER OF SAID POINT SITUATE ON THE CENTERLINE OF THE AFORESAID CISCO DRIVE WEST; THENCE WESTERLY ALONG THE WESTERLY RIGHT OF WAY LINE OF THE AFORESAID CISCO DRIVE WEST, A DISTANCE OF 264.00 FEET TO THE SOUTHWEST CORNER OF THOSE CERTAIN LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 10951, PAGE 2439 OF SAID CURRENT PUBLIC RECORDS; SAID POINT ALSO BEING SITUATE ON THE AFORESAID WESTERLY RIGHT OF WAY LINE OF CISCO DRIVE WEST; THENCE SOUTH 00°37'04" WEST, ALONG THE WESTERLY RIGHT OF WAY LINE, A DISTANCE OF 60.01 FEET TO A POINT AT THE SOUTHWEST CORNER OF THOSE CERTAIN LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 7179, PAGE 1487 OF THE CURRENT PUBLIC RECORDS OF SAID COUNTY; SAID POINT ALSO BEING SITUATE IN THE EASTERLY EXTENSION OF THE SOUTHERLY LINE OF THE AFORESAID 60'-FOOT INGRESS-EGRESS EASEMENT; THENCE SOUTH 89°35'18" WEST, ALONG THE LAST SAID EASTERLY EXTENSION AND THE SOUTHERLY LINE OF THE AFORESAID 60'-FOOT INGRESS-EGRESS EASEMENT, A DISTANCE OF 1629.60 FEET TO THE NORTHWEST CORNER OF THOSE CERTAIN LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 11951, PAGE 914 OF SAID CURRENT PUBLIC RECORDS; THENCE SOUTH 00°37'04" WEST, ALONG THE WEST LINE OF THE LAST SAID LANDS, SAID LINE ALSO BEING PARALLEL TO THE WESTERLY RIGHT OF WAY LINE OF THE AFORESAID CISCO DRIVE WEST, A DISTANCE OF 439.41 FEET; THENCE SOUTH 00°37'04" WEST, ALONG A LINE BEING PARALLEL TO THE WESTERLY RIGHT OF WAY LINE OF THE LAST SAID LANDS, A DISTANCE OF 949.50 FEET TO A POINT SITUATE AT THE INTERSECTION WITH THE WESTERLY PROJECTION OF THE NORTH LINE OF THOSE CERTAIN LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 11344, PAGE 1997 OF THE CURRENT PUBLIC RECORDS OF SAID COUNTY; THENCE NORTH 89°38'27" EAST, ALONG THE LAST SAID WESTERLY PROJECTION OF THE NORTH LINE OF THOSE CERTAIN LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 11344, PAGE 1997 OF THE CURRENT PUBLIC RECORDS OF SAID COUNTY; THENCE NORTH 89°38'27" EAST, ALONG THE LAST SAID WESTERLY PROJECTION OF THE NORTH LINE OF THOSE CERTAIN LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 11344, PAGE 1997 OF THE CURRENT PUBLIC RECORDS OF SAID COUNTY; THENCE SOUTH 00°37'04" WEST, ALONG THE WEST LINE OF THE AFORESAID CISCO DRIVE WEST, A DISTANCE OF 129.99 FEET TO A POINT SITUATE ON THE NORTH LINE OF A 50'-FOOT DRAINAGE RIGHT OF WAY AS RECORDED IN OFFICIAL RECORDS BOOK 566, PAGE 99 OF SAID CURRENT PUBLIC RECORDS; THENCE SOUTH 89°38'27" WEST, ALONG THE LAST SAID LINE, SAID LINE BEING PARALLEL TO THE SOUTH LINE OF THE AFORESAID SOUTHWEST 1/4 OF SECTION 30, A DISTANCE OF 569.32 FEET TO THE WESTERLY TERMINUS OF SAID 50'-FOOT DRAINAGE RIGHT OF WAY; THENCE SOUTH 00°37'04" WEST, ALONG THE WESTERLY LINE OF SAID 50'-FOOT DRAINAGE RIGHT OF WAY, SAID LINE ALSO BEING PARALLEL TO THE WESTERLY RIGHT OF WAY LINE OF THE AFORESAID CISCO DRIVE WEST, A DISTANCE OF 50.01 FEET TO THE POINT OF BEGINNING, CONTAINING 2,196,857.17 SQUARE FEET AND/OR 50.43 ACRES MORE OR LESS.

NEXTOWER LEASE PARCEL (BY SURVEYOR)

A PARCEL OF LAND BEING A PORTION OF THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 1 SOUTH, RANGE 25 EAST, DUVAL COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER OF SECTION 30, SAID POINT SITUATE ON THE CENTERLINE OF CISCO DRIVE WEST (A 60'-FOOT PUBLIC RIGHT OF WAY); THENCE SOUTH 89°38'27" WEST, ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF SECTION 30, FOR 1630.00 FEET TO THE POINT OF BEGINNING OF THE HEREBIN DESCRIBED PARCEL OF LAND; THENCE S 89°38'27" W FOR 160.00 FEET; THENCE S 89°38'27" E FOR 100.00 FEET; THENCE S 00°21'33" E FOR 100.00 FEET TO THE POINT OF BEGINNING. SAID PARCEL OF LAND SHAL BEING AND BEING IN DUVAL COUNTY, FLORIDA AND CONTAINING 10,000 SQUARE FEET OF LAND, MORE OR LESS.

NEXTOWER 30' WIDE INGRESS/EGRESS & UTILITIES EASEMENT (BY SURVEYOR)

A 30'-FEET WIDE EASEMENT STRIP OF LAND FOR THE PURPOSES OF INGRESS/EGRESS AND UTILITIES LYING IN THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 1 SOUTH, RANGE 25 EAST, DUVAL COUNTY, FLORIDA, SAID EASEMENT LYING 15 FEET ON BOTH SIDES OF THE FOLLOWING DESCRIBED CENTERLINE: COMMENCE AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER OF SECTION 30, SAID POINT SITUATE ON THE CENTERLINE OF CISCO DRIVE WEST (A 60'-FOOT PUBLIC RIGHT OF WAY); THENCE SOUTH 89°38'27" WEST, ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF SECTION 30, FOR 1630.00 FEET; THENCE S 89°38'27" W FOR 100.00 FEET; THENCE S 00°21'33" E FOR 100.00 FEET; THENCE S 89°38'27" W FOR 15.00 FEET TO THE POINT OF BEGINNING OF THE HEREBIN DESCRIBED EASEMENT CENTERLINE; THENCE N 89°38'27" E FOR 379.11 FEET TO A POINT OF CURVATURE OF A TANGENT CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 45.00 FEET; THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 89°01'23" FOR 69.92 FEET TO THE POINT OF TANGENCY; THENCE N 00°37'04" E FOR 734.56 FEET TO THE POINT OF CURVATURE OF A TANGENT CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 35.00 FEET; THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 91°01'46" FOR 59.61 FEET TO THE POINT OF TANGENCY; THENCE S 89°35'18" W FOR 367.96 FEET TO A POINT OF CURVATURE OF A TANGENT CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 45.00 FEET; THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 91°01'46" FOR 71.49 FEET TO THE POINT OF TANGENCY; THENCE N 00°37'04" E FOR 260.19 FEET TO THE INTERSECTION WITH THE SOUTH LINE OF KEVIN ALLEN LANE (60' WIDE ROAD EASEMENT PER DESCRIPTION RECORDED IN OFFICIAL RECORDS BOOK 14740, PAGE 1918 OF THE PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA) AND THE POINT OF TERMINUS. THE SIDELINES OF SAID EASEMENT TO BE SHORTENED AND PROLONGED TO MEET AT ANGLE POINTS, EASEMENT LINES, RIGHT-OF-WAY LINES AND LEASE PARCEL LINES.

TOGETHER WITH A 60' WIDE ROAD EASEMENT AS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 14740, PAGE 1918 OF THE PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA. SAID EASEMENT ALSO BEING KNOWN AS KEVIN ALLEN LANE.

KEVIN ALLEN LANE EASEMENT DESCRIPTION (O.R. 14740, PAGE 1918)

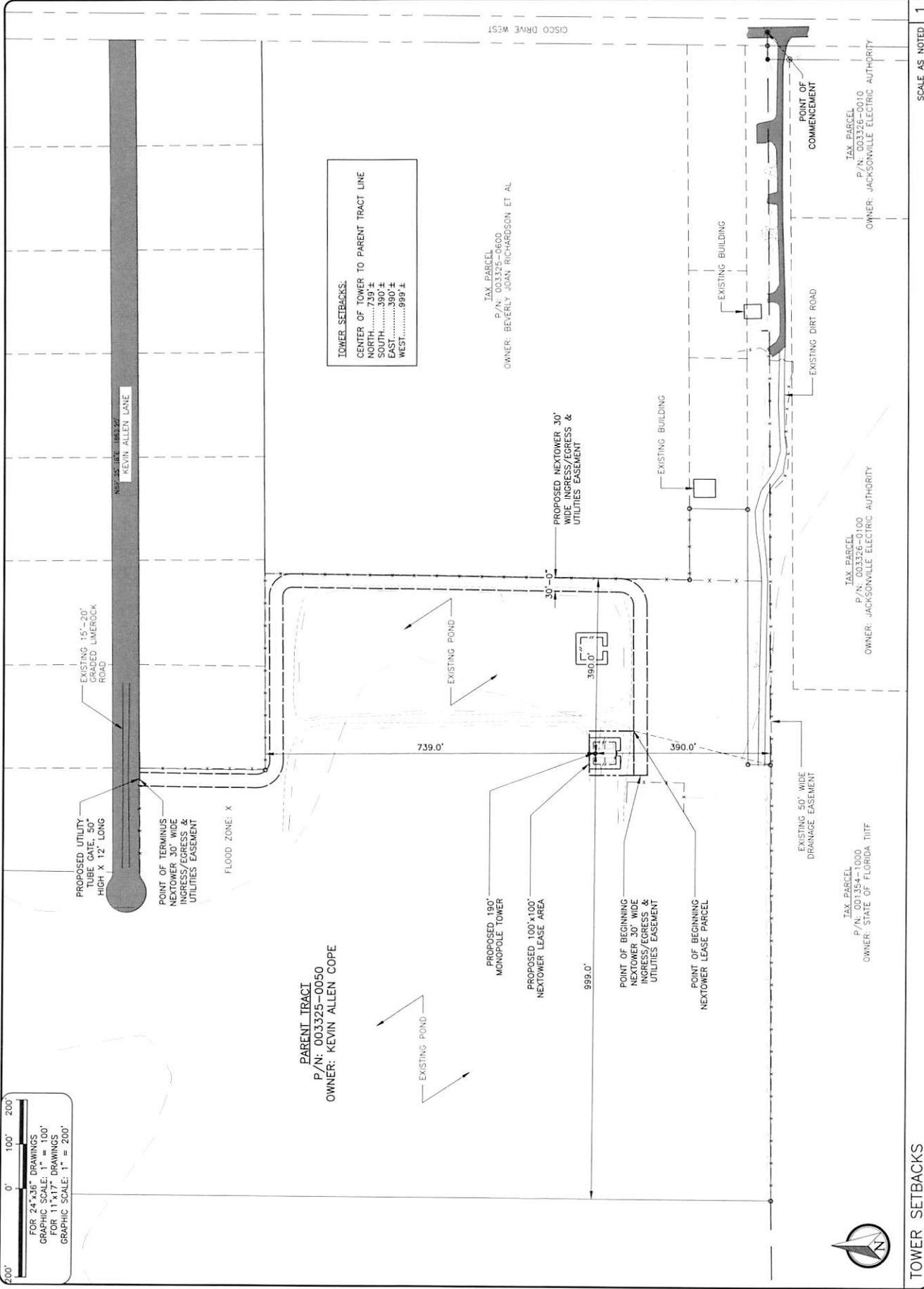
A 60' EASEMENT FOR INGRESS AND EGRESS KNOWN AS KEVIN ALLEN LANE. A PARCEL OF LAND BEING A PORTION OF THE SOUTHWEST 1/4 OF SECTION 30, TOWNSHIP 1 SOUTH, RANGE 25 EAST, DUVAL COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHEAST CORNER OF SAID SOUTHWEST 1/4 OF SECTION 30, SAID POINT SITUATE ON THE CENTERLINE OF CISCO DRIVE WEST (A 60' PUBLIC RIGHT OF WAY) THENCE SOUTH 89°38'27" WEST, ALONG THE SOUTH LINE OF SAID SOUTHWEST 1/4 OF SECTION 30, A DISTANCE OF 30.00 FEET TO THE WESTERLY RIGHT OF WAY LINE OF CISCO ROAD; THENCE NORTH 00°37'56" EAST, ALONG THE SAID WESTERLY RIGHT OF WAY LINE OF CISCO ROAD 1411.61 FEET TO THE NORTHEAST CORNER OF LANDS DESCRIBED IN OFFICIAL RECORDS VOLUME 13058, PAGE 1179, OF THE CURRENT PUBLIC RECORDS OF SAID COUNTY AND THE POINT OF BEGINNING; THENCE CONTINUE NORTH 00°37'36" EAST, ALONG SAID WESTERLY RIGHT OF WAY LINE, 60.01 FEET; THENCE SOUTH 89°34'47" WEST, 1863.50 FEET TO A POINT OF CURVE TO THE RIGHT AND HAVING A RADIUS OF 25.00 FEET; THENCE ALONG AND AROUND SAID CURVE TO THE RIGHT AN ARC DISTANCE OF 16.67 FEET TO A POINT OF REVERSE CURVE TO THE LEFT AND HAVING A RADIUS OF 45.00 FEET AFORESAID CURVE BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF NORTH 71°18'57" WEST, 16.36 FEET; THENCE ALONG AND AROUND SAID REVERSE CURVE TO THE LEFT AN ARC DISTANCE OF 201.40 FEET TO A POINT OF REVERSE CURVE TO THE RIGHT AND HAVING A RADIUS OF 25.00 FEET AFORESAID REVERSE CURVE BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF SOUTH 00°25'29" EAST, 70.71 FEET; THENCE ALONG AND AROUND SAID REVERSE CURVE TO THE RIGHT AN ARC DISTANCE OF 16.68 FEET TO A POINT OF TANGENT BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF NORTH 70°28'23" EAST, 16.37 FEET; THENCE NORTH 89°34'47" EAST, 1862.39 FEET TO THE POINT OF BEGINNING.

LEGAL DESCRIPTIONS

200' 0' 100' 200'

FOR 24" x 36" DRAWINGS
GRAPHIC SCALE: 1" = 100'

FOR 11" x 17" DRAWINGS
GRAPHIC SCALE: 1" = 200'



REV	DATE	DESCRIPTION
A	11/20/17	PRELIM PLANS
0	12/17/17	FINAL PLANS ISSUED

PROJECT NO:	17-5753
DRAWN BY:	M. THOMAS
PROJECT MANAGER:	D. REVELS
CHECKED BY:	D. REVELS

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ENGINEERING GROUP, INC.
TOGETHER PLANNING A BETTER TOMORROW

1325 N. TELEGRAPH AVENUE, SUITE 120
TALLAHASSEE, FLORIDA 32303
TEL: (904) 813-1222
FAX: (904) 813-1422
CERTIFICATE OF AUTHORIZATION 28787

NexTower
FOR NEXTOWER TOWER LEASE PLANS

4210 NORTHWEST 37TH PLACE, SUITE 600
GAINESVILLE, FLORIDA 32608

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BEVERLY D. SHART PE FL LIC 75137

PRITCHARD ROAD FL
NXFL-118
12094 KEVIN ALLEN LANE
JACKSONVILLE, FLORIDA 32219
(DUVAL COUNTY)

SHEET NAME
TOWER
SETBACKS

SHEET NUMBER
C1.2

PARENT TRACT
P/N: 003325-0050
OWNER: KEVIN ALLEN COPE

TAX PARCEL
P/N: 003325-0600
OWNER: BEVERLY JOAN RICHARDSON ET AL

TOWER SETBACKS:
CENTER OF TOWER TO PARENT TRACT LINE
NORTH.....739'±
SOUTH.....390'±
EAST.....390'±
WEST.....999'±

TAX PARCEL
P/N: 001254-1000
OWNER: STATE OF FLORIDA THIF

TAX PARCEL
P/N: 003326-0100
OWNER: JACKSONVILLE ELECTRIC AUTHORITY

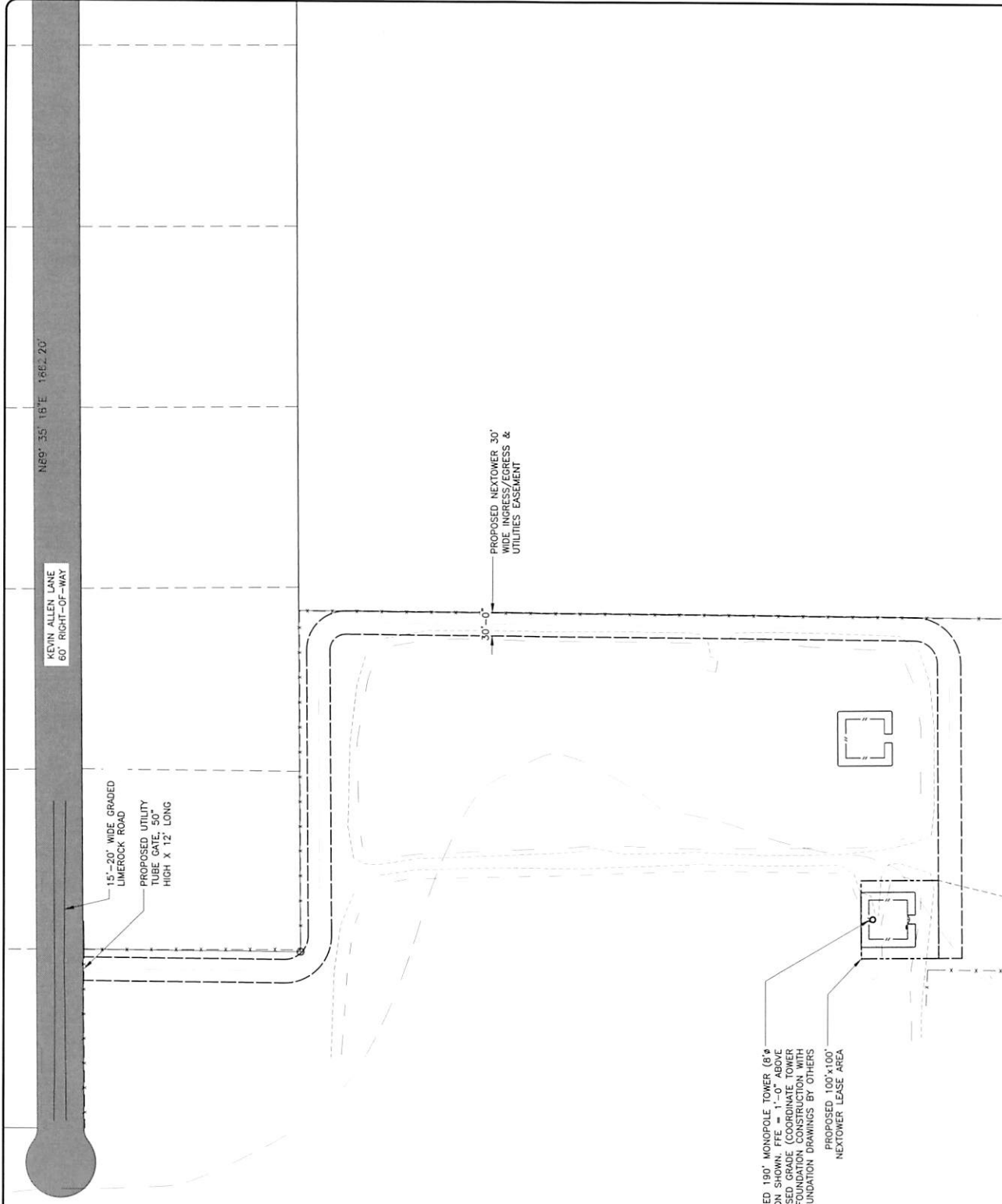
TAX PARCEL
P/N: 003326-0010
OWNER: JACKSONVILLE ELECTRIC AUTHORITY

TOWER SETBACKS

SCALE AS NOTED 1



128' 0' 64' 128'
 FOR 24"x36" DRAWINGS
 GRAPHIC SCALE: 1/64" = 1'-0"
 FOR 18"x24" DRAWINGS
 GRAPHIC SCALE: 1/128" = 1'-0"



REV	DATE	DESCRIPTION
A	11/20/17	PRELIM PLANS
0	12/17/17	FINAL PLANS ISSUED

PROJECT NO.:	17-5753
DRAWN BY:	M. THOMAS
PROJECT MANAGER:	D. REVELS
CHECKED BY:	D. REVELS

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SMM
 ENGINEERING GROUP, INC.
 TOGETHER PLANNING A BETTER TOMORROW

1300 TELECOM PARKWAY, SUITE 100
 TEMPLE TERRACE, FLORIDA 32627
 (813) 615-1422

CERTIFICATE OF AUTHORIZATION 28797

NextTower
 A Division of NextGen Tower Services

4210 NORTHWEST 47TH PLACE, SUITE 600
 GAINESVILLE, FLORIDA 32606

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JEREMY D. SHARIT PE FL LIC 79137

PRITCHARD ROAD FL
 NXFL-118
 12094 KEVIN ALLEN LANE
 JACKSONVILLE, FLORIDA 32219
 (DUVAL COUNTY)

SHEET NAME
 LEASE AREA
 & EASEMENT
 DETAILS

SHEET NUMBER
 C1.3

REV	DATE	DESCRIPTION
A	11/20/17	PRELIM PLANS
0	12/17/17	FINAL PLANS ISSUED

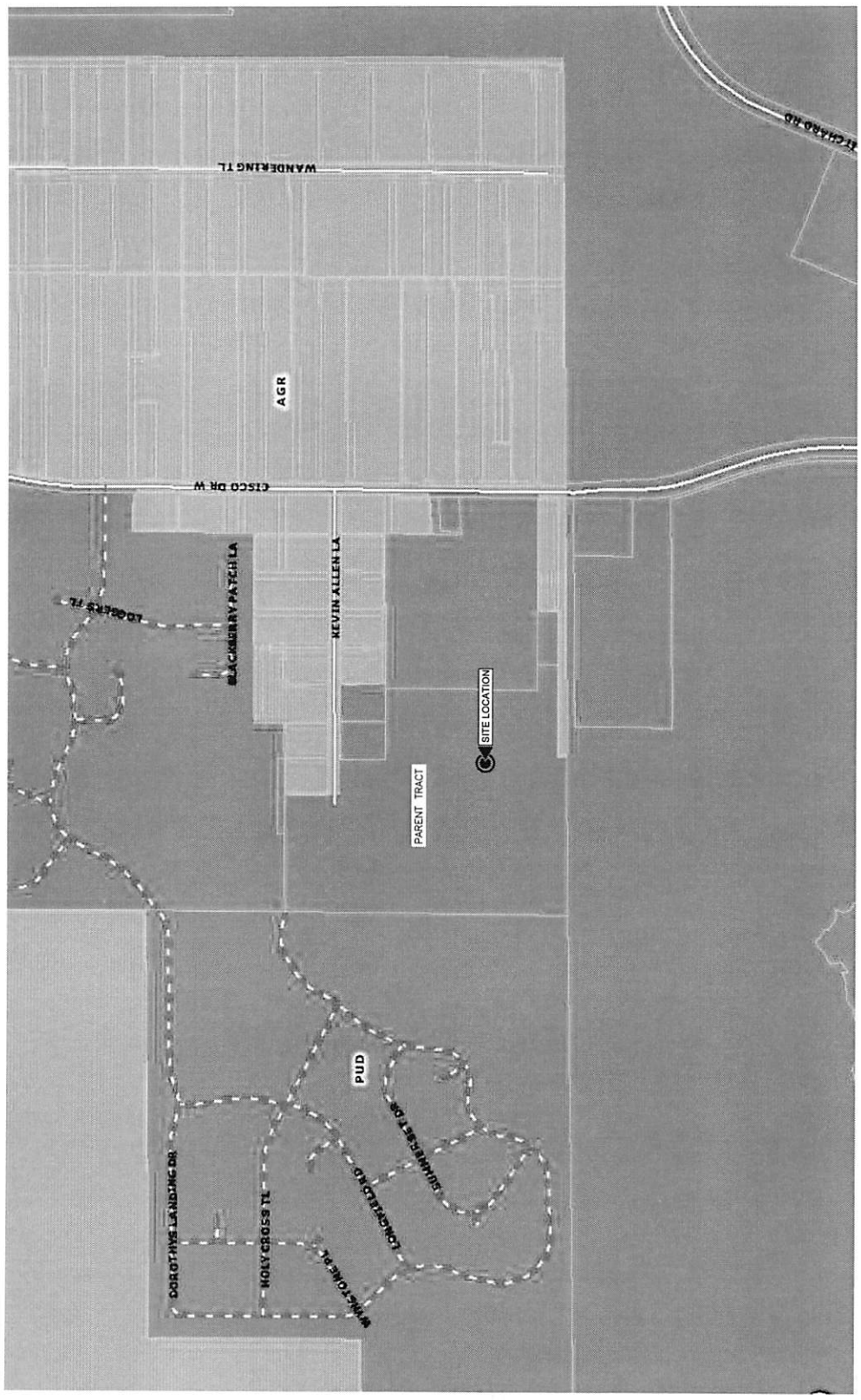
PROJECT NO: 17-5753
 DRAWN BY: M. THOMAS
 PROJECT MANAGER: D. REVELS
 CHECKED BY: D. REVELS

SEI
ENGINEERING GROUP, INC.
 TOGETHER PLANNING A BETTER TOMORROW
 13204 TECUM PARKWAY, SUITE 100
 TEMPLE TERRACE, FLORIDA 33617
 (813) 615-1422
 CERTIFICATE OF AUTHORIZATION 28787

NexTower
 4210 NORTHWIND DR, SUITE 600
 GAINESVILLE, FLORIDA 32609

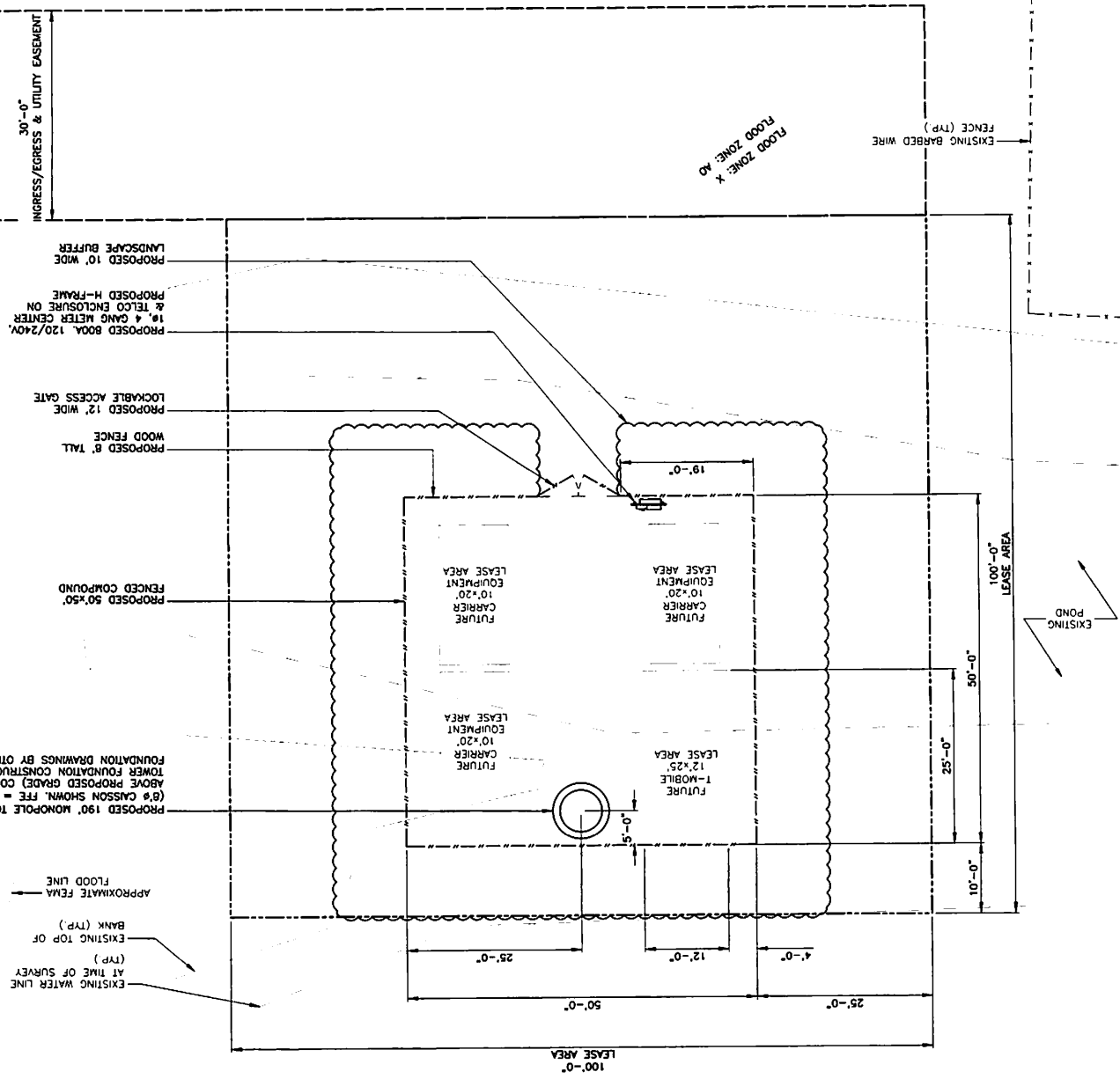
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 JEREMY D. SHARIT PE FL LIC 75137

PRITCHARD ROAD FL
 NXFL-118
 12094 KEVIN ALLEN LANE
 JACKSONVILLE, FLORIDA 32219
 (DUVAL COUNTY)
 SHEET NAME
 ZONING MAP
 SHEET NUMBER
 C1.4





NOTE:
INGRESS/EGRESS TO REMAIN UNIMPROVED.



FOR 24"x36" DRAWINGS
GRAPHIC SCALE: 1/8" = 1'-0"
FOR 11"x17" DRAWINGS
GRAPHIC SCALE: 1/16" = 1'-0"

Pritchard Road Fl
NXFL-118
12094 KEVIN ALLEN LANE
JACKSONVILLE, FLORIDA 32218
SHEET NAME
COMPOUND PLAN
SHEET NUMBER
C2

THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JERRY D. SHART, PE (FL) LICENSE NO. 2017 (USING A DIGITAL SIGNATURE IN ACCORDANCE WITH F.A.C. 61G15-22.004, WITH A DIGITAL CERTIFICATE ISSUED BY ENTRUST INC. TO VIEW THE SIGNATURE AND VERIFY ITS PROPERTIES, PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND BE VERIFIED ON ANY ELECTRONIC COPIES.
JERRY D. SHART PE FL LIC 29137

4210 NORTHWEST 37TH PLACE, SUITE 600
JACKSONVILLE, FLORIDA 32206
Nextover
CERTIFICATE OF AUTHORIZATION 28787

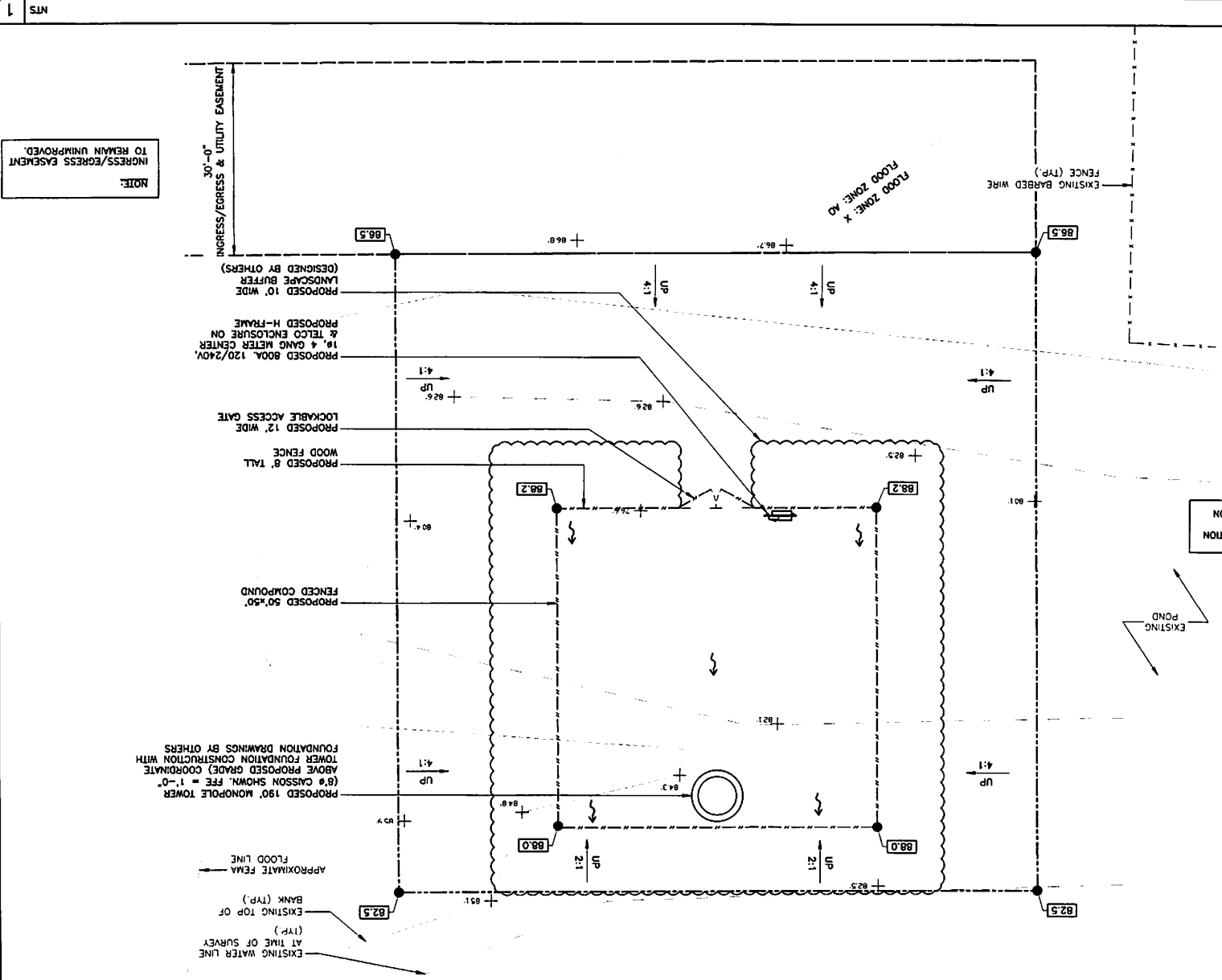
TOGETHER PLANNING A BETTER TOMORROW
1001 TELCON PARKWAY, SUITE 100
TEMPLE TERRACE, FLORIDA 33637
(813) 615-1422
CERTIFICATE OF AUTHORIZATION 28787
SMI ENGINEERING GROUP, INC.

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REV	DATE	DESCRIPTION
A	11/20/17	PRELIM PLANS ISSUED
0	12/17/17	FINAL PLANS ISSUED
PROJECT NO.: 17-5753		
DRAWN BY: M. THOMAS		
PROJECT MANAGER: D. REVELS		
CHECKED BY: D. REVELS		



FOR 24"x36" DRAWINGS
GRAPHIC SCALE: 1/8" = 1'-0"
FOR 11"x17" DRAWINGS
GRAPHIC SCALE: 1/16" = 1'-0"



NOTE:
INGRESS/EGRESS/EASEMENT
TO REMAIN UNIMPROVED.

NTS 1

REV	DATE	DESCRIPTION
A	11/20/17	PRELIM PLANS
0	12/17/17	FINAL PLANS ISSUED

PROJECT NO.: 17-5753
DRAWN BY: M. THOMAS
PROJECT MANAGER: D. REVELS
CHECKED BY: D. REVELS

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SMI ENGINEERING GROUP, INC.
TOGETHER PLANNING A BETTER TOMORROW
1001 TELCOM PARKWAY, SUITE 100
TAMPA TRAFFIC, FLORIDA 33637
(813) 619-1422
CERTIFICATE OF AUTHORIZATION 28767

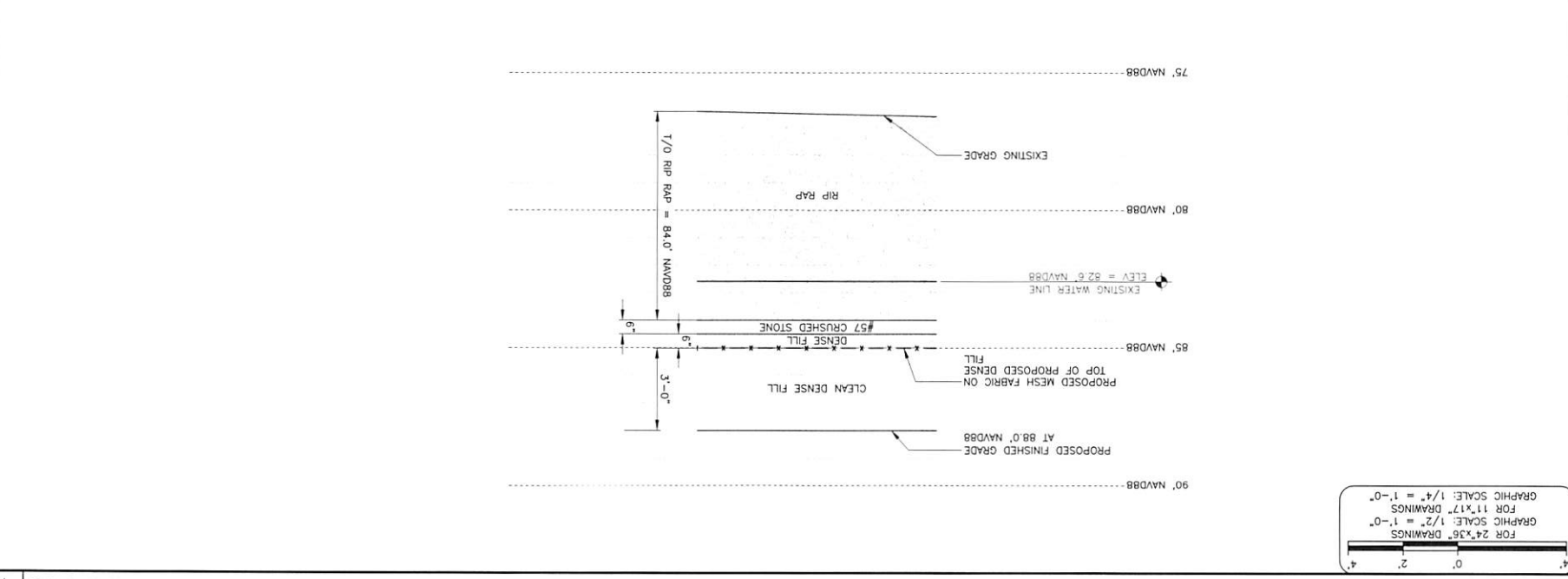
Nextover
4210 WOODBRIDGE AVENUE, SUITE 600
CORPORATE, FLORIDA 33608

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JEREMY D. SHARPT PE, P.L.L.C. 79137
PRITCHARD ROAD FL
NXFL-118
JACKSONVILLE FLORIDA 32218
SHEET NAME
PROPOSED GRADING PLAN
SHEET NUMBER
C2.1

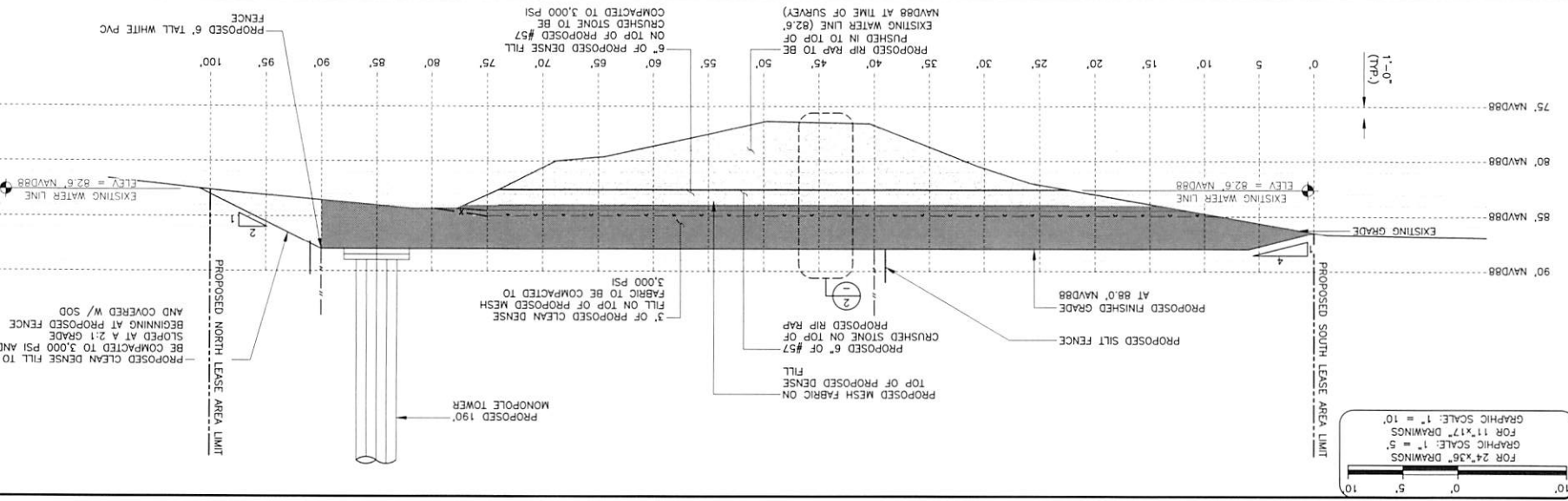
ENLARGED FILL PLAN

SCALE AS NOTED



FOR 24"x36" DRAWINGS
GRAPHIC SCALE: 1/2" = 1'-0"
FOR 11"x17" DRAWINGS
GRAPHIC SCALE: 1/4" = 1'-0"

SCALE AS NOTED



FOR 24"x36" DRAWINGS
GRAPHIC SCALE: 1" = 10'
FOR 11"x17" DRAWINGS
GRAPHIC SCALE: 1" = 5'

SCALE AS NOTED



SCALE AS NOTED

C2.2

SHEET NUMBER

FILL PLAN

SHEET NAME

Pritchard Road FL
NXFL-118
12094 Kevin Allen Lane
Jacksonville, Florida 32219
(Duval County)

JEREMY D. SHART PE FL LIC 75137

THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JEREMY D. SHART, PE (#75137) ON DECEMBER 18, 2017 USING A DIGITAL SIGNATURE IN ACCORDANCE WITH F.A.C. 61G15-23.004, WITH A DIGITAL CERTIFICATE ISSUED BY ENTRUST, INC. PLEASE REFERENCE SHEET T1 TO VIEW THE SIGNATURE AND VERIFY ITS PROPERTIES. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND BE VERIFIED ON ANY ELECTRONIC COPIES.

4210 KORTHAUSE 37TH PLACE, SUITE 600
CANONVILLE, FLORIDA 32909



CERTIFICATE OF AUTHORIZATION 28787



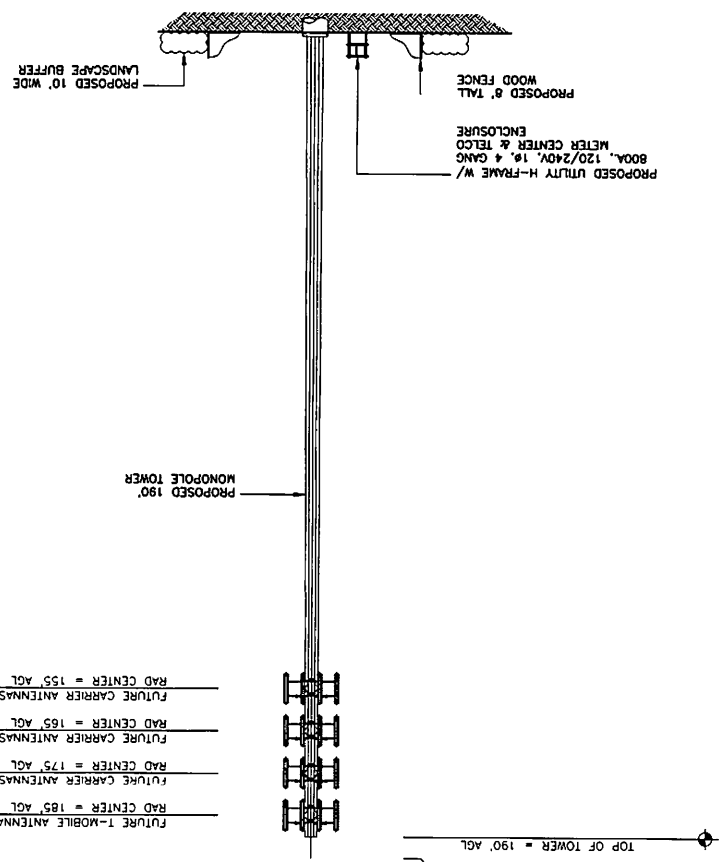
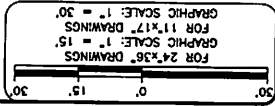
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REV	DATE	DESCRIPTION
A	11/20/17	PRELIM PLANS
0	12/17/17	FINAL PLANS ISSUED

PROJECT NO.:	17-593
DRAWN BY:	M. THOMAS
PROJECT MANAGER:	D. REVELS
CHECKED BY:	D. REVELS

1. PARCEL ID NUMBER: 003323-500
2. VEHICULAR USE:
3. WATER AND SEWER: APPROXIMATE ONE TO THREE SITE VISITS PER MONTH
4. USE: COMMUNICATION FACILITY SHALL NOT BE SERVICED BY WATER OR UNMANNED TELECOMMUNICATIONS RELAY EQUIPMENT
5. STORM WATER MANAGEMENT: TOWER OWNER SHALL ENSURE THAT THE SITE SHALL COMPLY WITH ALL STATE AND LOCAL JURISDICTION STORM WATER REGULATIONS
6. FAA NOTE: TOWER OWNER SHALL ENSURE THAT THE SITE SHALL COMPLY TO ALL APPLICABLE FAA REGULATIONS
7. TOWER OWNER TO ENSURE THAT THE PROPOSED ANTENNA INSTALLATION SHALL NOT INTERFERE WITH PUBLIC SAFETY COMMUNICATIONS AND THE USFAA AND CUSTOMARY TRANSMISSION RECEPTION OF RADIO AND TELEVISION IN THE VICINITY
8. INFORMATION FOR CONSTRUCTION PLANS TAKEN FROM A SURVEY COMPLETED BY STONECYPHER SURVEYING, INC. DATED 11-08-17
9. TOWER OWNER TO ENSURE THAT THE TOWER SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH APPLICABLE PROVISIONS OF STANDARD EIA/TIA 222-G AS WELL AS THE FLORIDA BUILDING CODE 5TH EDITION (2014)
10. THERE ARE NO KNOWN WETLANDS THAT WILL BE IMPACTED FROM THIS SITE
11. SETBACKS (CENTER OF TOWER TO PARENT TRACT LINE):
 WEST 999'±
 EAST 390'±
 SOUTH 390'±
 NORTH 739'±
 CENTER OF TOWER

PROPOSED RUNOFF, COMPOUND: (25 YR)	
TOTAL LEASE AREA:	10000 SF, OR 0.230 AC
TOTAL COMPOUND LEASE AREA	2500 SF, OR 0.057 AC
TOTAL COMPOUND IMPROVISED AREA (INCLUDING FUTURE AREAS)	951 SF, OR 0.022 AC
FOR EXISTING SITE CONDITIONS:	0-GIA (0.35)(7.8)(.230) = 0.603 CFS
DEVELOPED CONDITIONS:	0-GIA (0.437)(7.8)(.230) = 0.819 CFS
ADDITIONAL CF RUNOFF:	0.819 CFS - 0.603 CFS = 0.213 CFS



03
 SHEET NUMBER
 TOWER ELEVATION
 SHEET NAME
 12094 KEVIN ALLEN LANE
 JACKSONVILLE, FLORIDA 32219
 (DUVAL COUNTY)
 NXFL-118
 PRITCHARD ROAD FL

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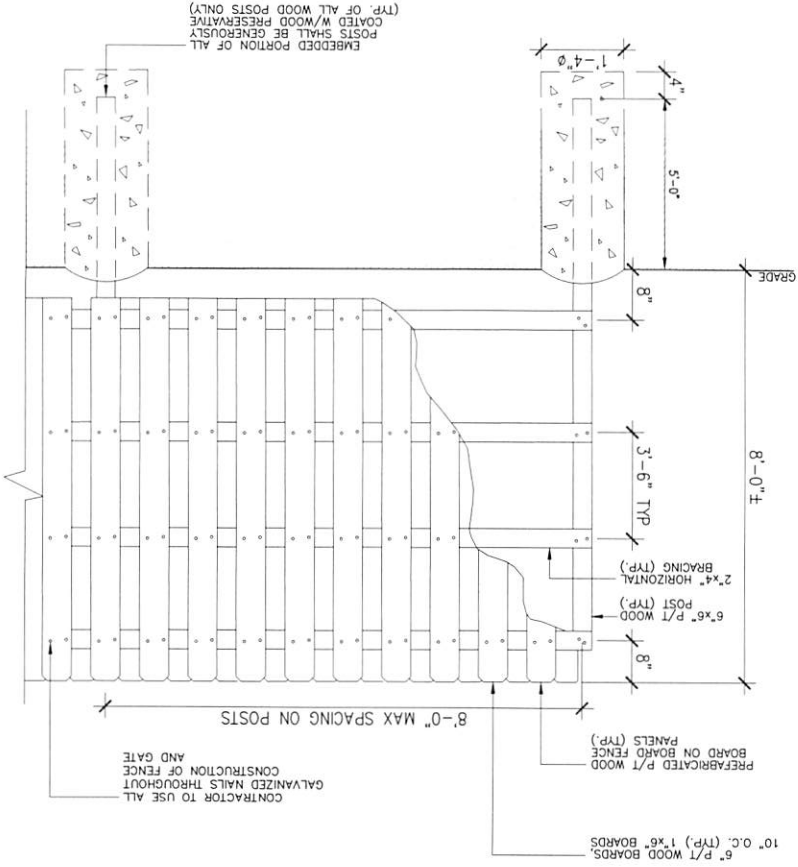
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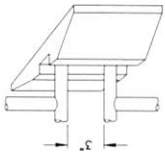
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PROJECT NO.: 17-5753		
DRAWN BY: M. THOMAS		
PROJECT MANAGER: D. REVELS		
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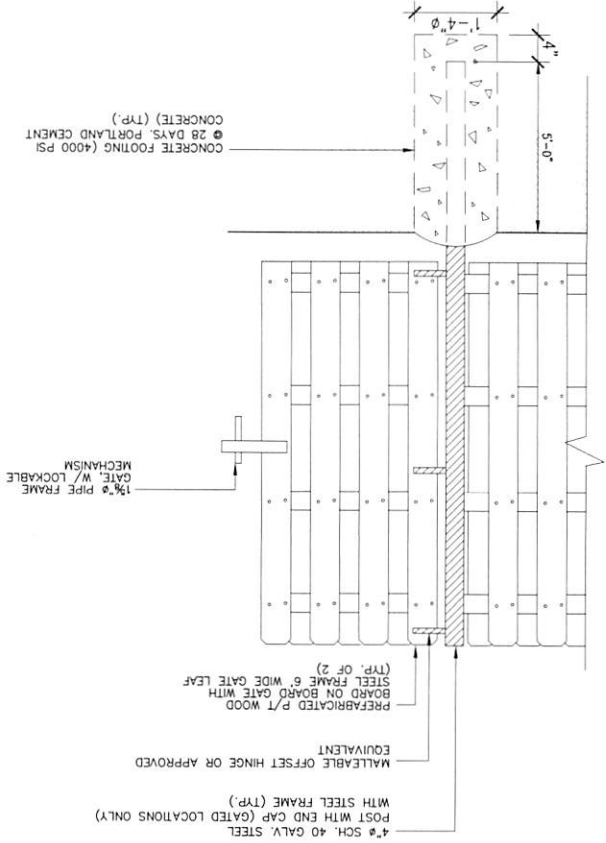
TYPICAL FENCE DETAIL



TYPICAL GATE DETAIL



- NOTES:
1. PROVIDE CONCRETE GATE KEEPER DROP ROD.
 2. PROVIDE GATE CATCHES AT REQUIRED LOCATION.



GATE CATCH

NTS 3

NTS 1

FENCE DETAILS

SHEET NAME

12094 KEVIN ALLEN LANE JACKSONVILLE, FLORIDA 32216

NXFL-118

PRITCHARD ROAD FL

JEREMY D. SHARIT PE FL LIC 75137

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PROJECT MANAGER: D. REVELS

DRAWN BY: M. THOMAS

PROJECT NO: 17-5753

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0 12/17/17 FINAL PLANS ISSUED

C4

SHEET NUMBER

TYPICAL TREE BARRICADE DETAILS

1. TREES - TO RESTRICT ACCESS INTO THE AREA WITHIN THE DRIFLINE OF A TREE, A PHYSICAL STRUCTURE NOT LESS THAN 3 FEET IN HEIGHT, COMPOSED OF WOOD OR OTHER SUITABLE MATERIAL, SHALL BE PLACED APPROVED WITHIN THE DRIFLINE.

FIG. A

FIG. B

FIG. C

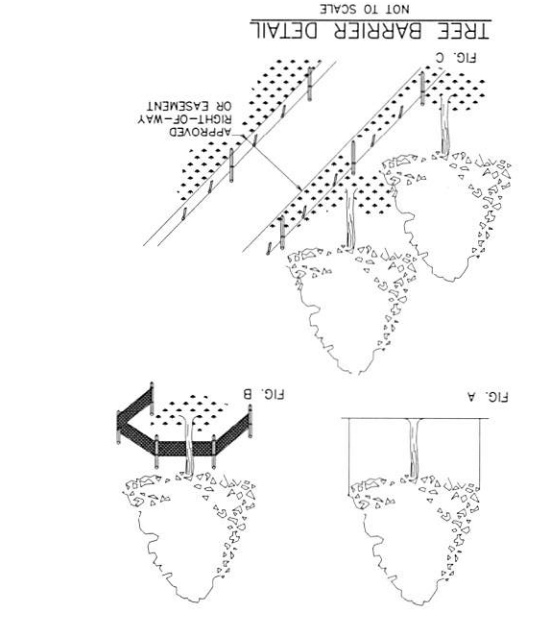
2. NATURAL AREAS - TO RESTRICT ACCESS INTO AREAS WHERE LAND ALTERATION AND CONSTRUCTION ACTIVITIES ARE NOT AUTHORIZED, A PHYSICAL STRUCTURE NOT LESS THAN 3 FEET IN HEIGHT SHALL BE PLACED ALONG THE PERIMETER OF SUCH AREAS.

3. BARRIER SPECIFICATIONS FOR NATURAL AREAS:

FOUR CORNER UPRIGHT STAKES OF NO LESS THAN 2"x2" LUMBER, CONNECTED BY HORIZONTAL MEMBERS OF LUMBER CONNECTED BY SILT SCREEN FABRIC OR MATERIAL OF COMPARABLE DURABILITY.

NO LESS THAN 1"x4" LUMBER; OR UPRIGHT STAKES SPACED AT 5' INTERVALS OF NO LESS THAN 2"x2" UPRIGHT STAKES OF NO LESS THAN 2"x2" LUMBER SPACED NO MORE THAN 25' APART AND CONNECTED BY TIME FLAGGED WITH PLASTIC SURVEYING TAPE AT INTERVALS OF 5'-10'. FIG. C

TREE BARRIER NOTES:



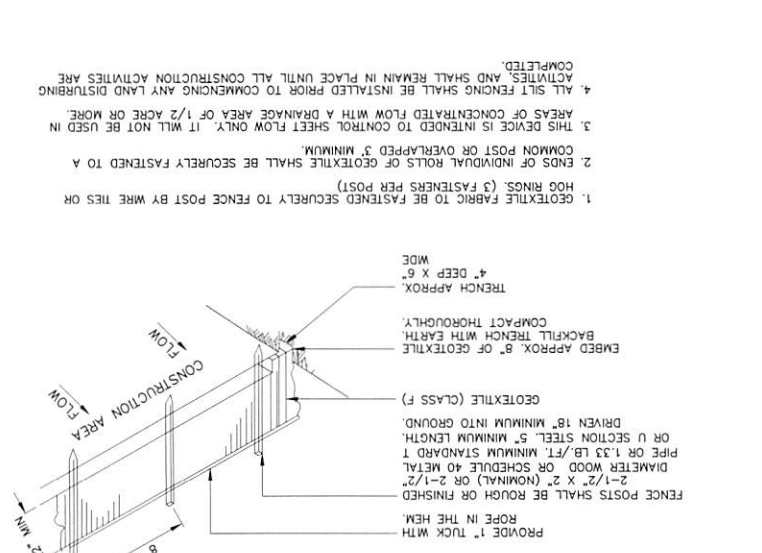
EROSION CONTROL NOTE

1. ALL WORK SHALL CONFORM TO THE FLORIDA WATER MANAGEMENT DISTRICT GUIDELINES REGARDING PREVENTION OF ANY OFF-SITE RUNOFF, EROSION/SEDIMENTATION BARRIERS SHALL BE PLACED AT ALL LOCATIONS OF ANY POSSIBILITY OF RUNOFF THAT COULD OCCUR TO THE ADJOINING PROPERTIES. THESE BARRIERS SHALL BE BARRICADED AS SHOWN ON THE DETAIL.

2. THE SITE CONTRACTOR IS TO PROVIDE EROSION CONTROL AND SEDIMENTATION BARRIER (HAY BALES AND/OR SILTATION CURTAIN) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS AND WATERWAYS. SHOULD SILTATION OCCUR TO ANY OF THE ABOVE, THE SITE CONTRACTOR SHALL REMOVE SAID SEDIMENTATION AND RESTORE ANY DAMAGED AREAS AS REQUIRED.

3. IN ADDITION, THE SITE CONTRACTOR SHALL PLACE STRAW, MULCH, OR OTHER SUITABLE MATERIAL ON THE GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT THE SITE. THE SITE CONTRACTOR SHALL SWEEP ALL STREETS WITHIN PUBLIC RIGHT-OF-WAYS AS NECESSARY. TO REMOVE DIRT BEING TRANSPORTED FROM SITE BY CONSTRUCTION VEHICLES. IF, IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITIES, EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC, THE SITE CONTRACTOR IS TO REMOVE AND CLEAN SAID EARTH TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES. ALL DISTURBED AREAS SHALL BE RE-SEEDED/RE-SODDED TO MEET STANDARDS.

SILT FENCE DETAILS AND NOTES



3

NTS

2

NTS

C5 SHEET NUMBER

DETAILS SHEET NAME
 NXFL-118
 JACKSONVILLE, FLORIDA 32219
 12094 KEVIN ALLEN LANE
 (DUVAL COUNTY)

PRITCHARD ROAD FL
 KEVIN D. SHARRIT PE FL LIC 75137
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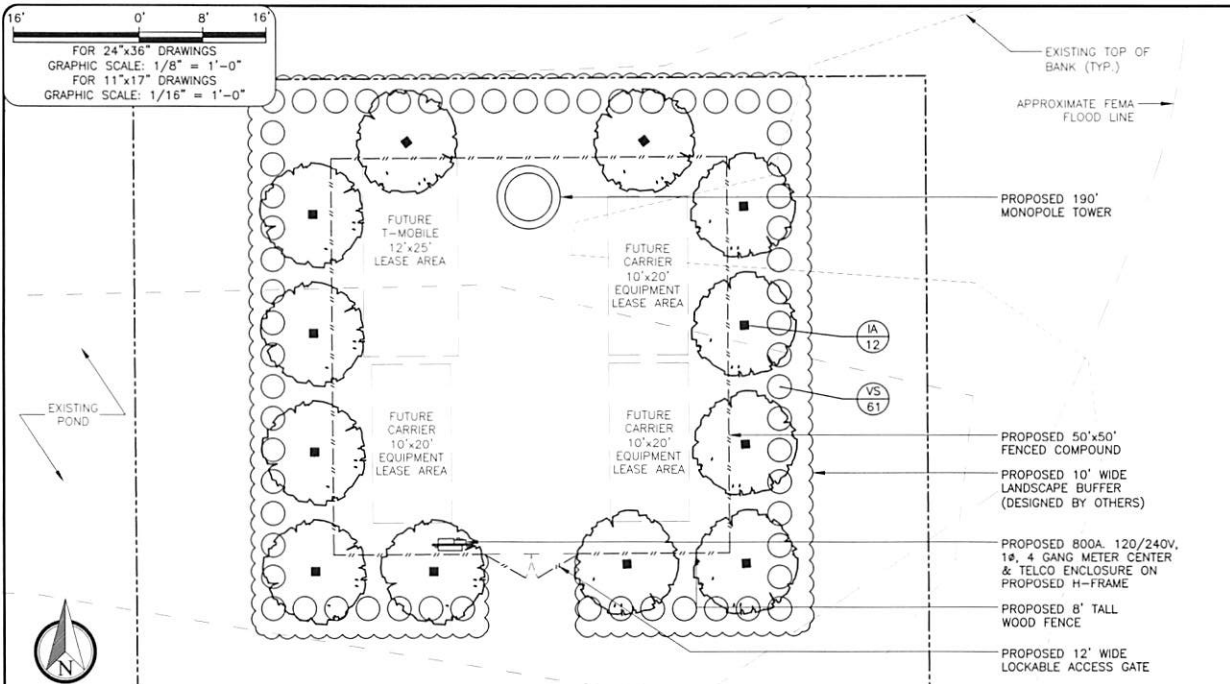


CERTIFICATE OF AUTHORIZATION 26767
 12051 TEELECA PARKWAY, SUITE 100
 (813) 619-1422



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PROJECT NO: 17-5753		
DRAWN BY: M THOMAS		
PROJECT MANAGER: D REVELS		
CHECKED BY: D REVELS		



16' 0' 8' 16'

FOR 24"x36" DRAWINGS
GRAPHIC SCALE: 1/8" = 1'-0"

FOR 11"x17" DRAWINGS
GRAPHIC SCALE: 1/16" = 1'-0"



ABBREVIATIONS

B/B BALLED AND BURLAPPED
C.T. CLEAR TRUNK
DAH OVERALL HEIGHT
HT. HEIGHT
SPRD. SPREAD
O.C. ON CENTER
GAL. GALLON
CU. YDS. CUBIC YARDS
S.F. SQUARE FEET

(A) PLANT SYMBOL
1 QTY. OF PLANTS

LANDSCAPE MATERIALS LIST

QTY	KEY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
12	IA	ILEX X	EAST PALATKA HOLLY	15' HT. 4" CAL. @ 15' O.C.
61	VS	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	MIN 7 GAL. 4' HT. @ 48" O.C.
		SOD	ARGENTINE BAHIA SOD	SO.FT.
		MULCH	PINE BARK MULCH	CU.YD..



GENERAL LANDSCAPE NOTES

- ALL LANDSCAPE MATERIAL SHALL BE FLA. NO. 1 GRADE OR BETTER, AS SPECIFIED IN GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I AND II, BY DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, AND SHALL CONFORM TO CURRENT AMERICAN ASSOCIATION OF NURSERYMAN STANDARDS FOR NURSERY STOCK. LANDSCAPE MATERIAL SHALL BE PLANTED ACCORDING TO SOUND NURSERY PRACTICES.
- ALL SHRUBS SHALL BE A MINIMUM OF 3' HIGH AT THE TIME OF PLANTING AND SPACED NO GREATER THAN 36" ON CENTER. SHRUBS SHALL NOT ADVERSELY IMPACT EXISTING TREE ROOT SYSTEMS AND SHALL BE FIELD ADJUSTED IF NECESSARY.
- ALL REQUIRED TREES SHALL BE A MINIMUM OF 12' HT. AND 3" CAL AT TIME OF PLANTING. ADJUST TREE LOCATIONS AS NECESSARY TO AVOID UTILITIES, OBSTRUCTIONS, ETC. SEE MATERIALS LIST FOR EXACT SPECIFICATIONS.
- ALL REQUIRED TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM IMPERVIOUS SURFACES, ALL SHRUBS 2 FEET.
- AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM SHALL BE INSTALLED TO MAINTAIN THE LANDSCAPE AREA IN A HEALTHY MANNER AND PROVIDE 100% COVERAGE.
- THE CONTRACTOR SHALL SOD ALL DISTURBED AREAS. ALL PLANTING SHALL BE MULCHED TO A 3" MINIMUM DEPTH.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEAN UP OF PREMISES AND REMOVAL OF ALL DISCARDED AND SURPLUS MATERIALS, AND RUBBISH.
- VERIFY THE LOCATIONS OF EXISTING TREES, LAWNS, AND SHRUBS. REMOVE EXTRANEOUS MATERIALS SUCH AS ROCKS, BRANCHES, BUILDING MATERIALS OR UNACCEPTABLE SOILS PRIOR TO PLANTING SOD, TREES, AND SHRUBS, WHERE ENCOUNTERED.
- CONTRACTOR SHALL BECOME ACQUAINTED WITH THE RELATED PAVING, SITE GRADING, AND ALL UTILITIES (INCLUDING WATER, SEWER, AND ELECTRICAL SUPPLY) TO PRECLUDE ANY MISUNDERSTANDINGS AND ENSURE A TROUBLE FREE INSTALLATION.
- THE EXACT LOCATION OF ALL EXISTING STRUCTURES, UNDERGROUND UTILITIES, AND PIPES MAY NOT BE AS INDICATED ON DRAWINGS; THE CONTRACTOR SHALL DETERMINE THE LOCATION OF THESE ITEMS AND SHALL CONDUCT HIS WORK IN A MANNER TO PREVENT INTERRUPTION OR DAMAGE TO EXISTING SYSTEMS WHICH MUST REMAIN OPERATIONAL. THE CONTRACTOR SHALL PROTECT EXISTING STRUCTURES AND UTILITY SERVICES WHICH MUST REMAIN OPERATIONAL AND SHALL BE RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED BY HIM.
- CONTRACTOR SHALL CALL SUNSHINE STATE ONE—CALL AT LEAST 48 HOURS PRIOR TO DIGGING. (1-800-432-4770).
- QUANTITIES ON PLAN TAKE PRECEDENCE OVER MATERIALS LIST. QUANTITIES ON MATERIALS LIST ARE PROVIDED AS A COURTESY ONLY.

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DRAWN BY: M. THOMAS

PROJECT MANAGER: D. REVELS

CHECKED BY: D. REVELS

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SMW ENGINEERING GROUP, INC.

TOGETHER PLANNING A BETTER TOMORROW

13051 TELECOM PARKWAY, SUITE 100
TEMPLE TERRACE, FLORIDA 33637
(813) 615-1422

CERTIFICATE OF AUTHORIZATION 28767

NexTower

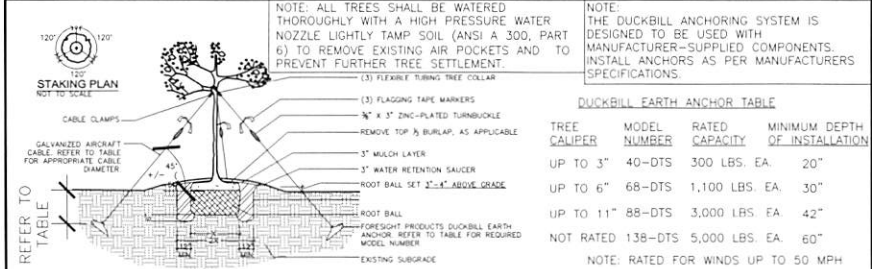
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LANDSCAPE PLAN

NTS 1

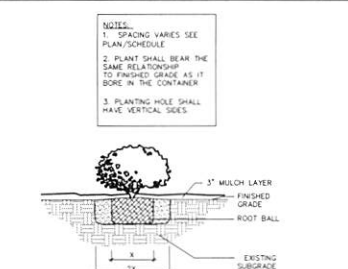


QUICKBILL EARTH ANCHOR TABLE

TREE CALIPER	MODEL NUMBER	RATED CAPACITY	MINIMUM DEPTH OF INSTALLATION
UP TO 3"	40-DTS	300 LBS. EA.	20"
UP TO 6"	68-DTS	1,100 LBS. EA.	30"
UP TO 11"	88-DTS	3,000 LBS. EA.	42"
NOT RATED	138-DTS	5,000 LBS. EA.	60"

NOTE: RATED FOR WINDS UP TO 50 MPH

NOTE: ALL TREE ANCHORING SYSTEM SHALL BE REMOVED AFTER ONE GROWING SEASON.



LANDSCAPING NOTES & REQUIREMENTS

AS PER CITY OF JACKSONVILLE COMMUNICATION TOWERS LANDSCAPE CODE: SEC.656.1512

A MINIMUM 8" HIGH FINISHED MASONRY WALL OR WOODEN FENCE SHALL BE REQUIRED AROUND ALL PORTIONS OF NONCAMOULFAGED WIRELESS COMMUNICATION TOWER SITES VISIBLE FROM THE PUBLIC VIEW.

THE VISUAL IMPACTS OF WIRELESS COMMUNICATION TOWER SITES SHALL BE MITIGATED THROUGH THE USE OF A LANDSCAPING BUFFER OUTSIDE THE PERIMETER OF THE SECURITY FENCE OR WALL. THE LANDSCAPING BUFFER SHALL BE A MINIMUM OF 10' ON ALL SIDES SUBJECT TO AND CONSISTING OF THE FOLLOWING:

- A ROW OF EVERGREEN SHADE TREES A MINIMUM OF 15' TALL (AT THE TIME OF PLANTING) WITH A 4" CALIPER, SPACED A MAXIMUM OF 15' APART.
- A ROW OF EVERGREEN SHRUBS SUCH AS VIBURNUM, LIGUSTRUM, HOLLY OR JUNIPER, A MINIMUM OF 4' TALL (AT THE TIME OF PLANTING) AND POTTED IN SEVEN-GALLON CONTAINERS, PLANTED 4' ON CENTER, IN ORDER TO MAINTAIN 80% OPACITY WITHIN ONE YEAR OF PLANTING.
- THE LANDSCAPING BUFFER SHALL BE PROPERLY MAINTAINED THROUGH AN IRRIGATION SYSTEM.

TYPICAL TREE PLANTING AT GRADE

NTS 2

SHRUB PLANTING DETAIL

NTS 3

LANDSCAPING NOTES & REQUIREMENTS

NTS 4

PRITCHARD ROAD FL

NXFL-118

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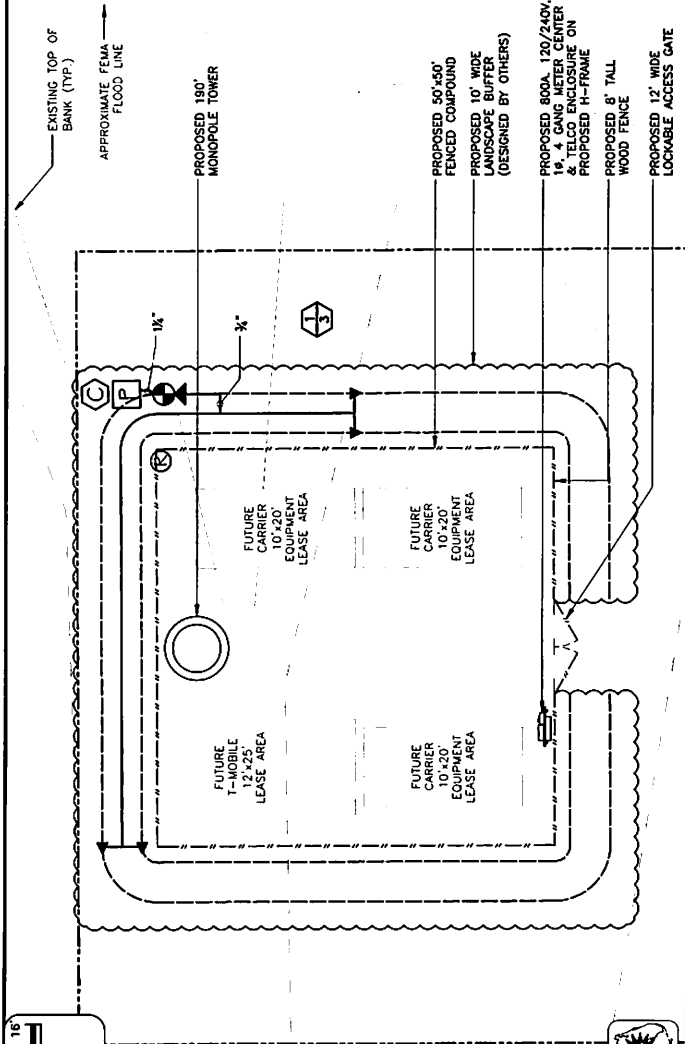
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LANDSCAPE PLAN

SHEET NUMBER

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FOR 24"x36" DRAWINGS
GRAPHIC SCALE: 1/8" = 1'-0"
FOR 11"x17" DRAWINGS
GRAPHIC SCALE: 1/16" = 1'-0"



IRRIGATION NOTES:

1. IRRIGATION CONTRACTOR SHALL EXERCISE CARE SO AS TO NOT DAMAGE EXISTING UTILITIES. IRRIGATION CONTRACTOR SHALL VERIFY EXISTING UTILITIES. IF ANY DAMAGE CAUSED BY HIS WORK, IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIRS OF ANY DAMAGE CAUSED BY HIS WORK.
2. ALL LATERAL LINE PIPING SHALL BE INSTALLED AT A DEPTH TO HAVE A MINIMUM COVER OF 18". ALL LATERAL LINE PIPING TO HAVE A MINIMUM COVER OF 12".
3. IRRIGATION CONTRACTOR TO BE RESPONSIBLE FOR ALL ELECTRICAL, HOOD-UPS, SLEEVES SHALL BE FLUSHED FREE OF ALL DIRT, DEBRIS, AND CHIPS PRIOR TO THE INSTALLATION OF THE BACK FLOW PREVENTOR.
4. SLEEVES SHALL BE REQUIRED UNDER ALL SIDEWALKS AND DRIVEWAYS. MINIMUM SLEEVE SIZE SHALL BE 2". BE USED IN ALL SHRUBBERY AREAS. SUPPORT THE HIGH-POP-UPS REBAR STEEL AND NYLON CABLE TIES.
5. ALL 24 VOLT WIRES FROM THE IRRIGATION CONTROLLER TO THE REMOTE CONTROL VALVES SHALL BE AWG SIZE 14, TYPE UF DIRECT BURIAL SINGLE STRAND WIRE. WIRES ARE TO BE BUNDLED TOGETHER THEN TIED TO THE BOTTOM OF THE MAIN LINE PIPE W/ TIES AT 10' INTERVALS. WIRE BURIED IN TRENCHES W/OUT MAIN LINE PIPE SHALL BE INSTALLED IN 1/2" CL 160 PVC PIPE AND BURIED WITH A MINIMUM COVER OF 18".
6. ALL PIPING TO THE LANDSCAPE PLAN WHEN TRENCHING TO AVOID TREES AND SHRUBS.
7. ALL PVC PIPING FOR MANUINE, SLEEVES AND RISERS SHALL BE SCH. 40. ALL OTHER PIPING SHALL BE CLASS 160 PVC FOR PIPING > 1" AND CLASS 315 PVC FOR PIPING < 1". PIPING SPECIFICATIONS SHALL COMPLY WITH LOCAL CODE REQUIREMENTS.
8. ALL POP-UP ROTORS AND SPRAYS SHALL BE INSTALLED USING AN 18" FLEX PIPE CONNECTION.
9. ALL WALLS MUST ALL NOZZLES TO REDUCE WATER WASTE ON HARD SURFACES AND THROTTLE VALVES ON SPRAY ZONES AS REQUIRED TO PREVENT FOGGING.
10. IRRIGATION CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING ON REPRODUCIBLE PAPER SHOWING ALL INSTALLATION THAT DEVIATES FROM THESE DRAWINGS. THE AS-BUILT SHALL LOCATE ALL MAIN LINE PIPING, CONTROL VALVES, GATE VALVES AND QUICK COUPLING VALVES SHALL BE INSTALLED IN VALVE BOXES. VALVE BOXES SHALL HAVE A MIN. 3" BED OF PEA GRAVEL.
11. ANY PIPING SHOWN OUTSIDE THE PROPERTY LINE OR RUNNING OUTSIDE A LANDSCAPED AREA IS SHOWN THERE FOR CLARITY ONLY. ALL LINES SHALL BE INSTALLED ON THE PROPERTY OR RIGHT OF WAY AND INSIDE THE LANDSCAPE AREAS.
12. RISERS SHALL BE PLACED A MIN. OF 12" FROM ANY SIDEWALK, PATIO OR ROAD.
13. EXACT CONTROLLER LOCATION TO BE COORDINATED WITH AN OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
14. PROPERLY GROUND THE CONTROLLER TO A 5/8" X 8" COPPER CLAD GROUND ROD WITH AWG #6 BARE SOLID COPPER WIRE ALL SPLICES AND CONNECTIONS TO THE 24 VOLT CONTROL WIRE SHALL BE MADE WITH KING TECHNOLOGY #6 WIRE CONNECTOR.

IRRIGATION LEGEND:

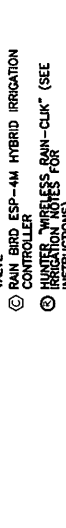
- ☉ RAIN BIRD PGA-100 REMOTE CONTROL VALVE
- ☉ RAIN BIRD ESP-AM HYBRID IRRIGATION CONTROLLER
- ☉ HUNTER PIPING SYSTEMS RAIN-CLIK™ (SEE INSTRUCTIONS)
- ☉ POINT OF CONNECTION - 4" WELL SYSTEM W/ 1.0 HP PUMP AND WELL (18 GPM @ 60 PSI) (SEE IRRIGATION NOTES FOR INSTRUCTIONS)
- MAIN LINE - SCH 40 PVC (UNLESS OTHERWISE INDICATED)
- LATERAL LINE - PVC CLASS 160 (UNLESS OTHERWISE REQUIRED BY LOCAL CODE) - TO BE SIZED NOT TO EXCEED A VELOCITY OF 5 FPS AND MAX. PSI LOSS IN ZONE LINES NOT TO EXCEED 2 PSI
- SIZE TO BE 3/4" - MINIMUM PIPE SIZE TO BE 3/4"
- RAIN BIRD PPG-19 1/2 IN. LINE PROCESSING DRIP
- TUBING W/ DFR100-140 WESH FILTER AND PRV075HF-25 REGULATOR
- SLEEVING - PVC SCH 40 (4" UNLESS NOTED)
- ▲ POINT OF CONNECTION - PVC TO DRIP TUBING
- ☒ VALVE DESIGNATION GUIDE

SCALE AS NOTED

SCALE AS NOTED

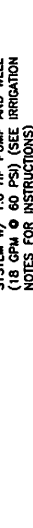
LEGEND:

1. PVC PIPE TO IRR.
2. PVC SCH40
3. PVC SCH 80 TOE
4. GALV. SCH40 90'
5. FINISH GRADE
6. NIBCO T-113 GATE VALVE - 1/2"
7. GALV. SCH40 TEE - 1/2"
8. GALV. SCH40 UNION
9. GALV. SCH40 40 UNION
10. 5'-1/2" WATT'S BOOM40T PVB
11. WATT'S BOOM40T PVB
12. PRESSURE RELIEF VALVE - 1"
13. WELL SEAL - 4" X 1/2" (AS REQ'D)
14. WELL CASING (LENGTH AS REQ'D)
15. FLOAMIC #60 BRASS C-HEADS
16. 1/2" HP/1/8 GPM SUBMERSIBLE PUMP
17. SOULDS #180S10 OR EQUAL
18. 4"x4" CONCRETE POST (LENGTH AS REQ'D)
19. FRANKLIN MOTOR CONTROL
20. FRANKLIN MOTOR CONTROL #1522 PUMP
21. START RELAY
22. PRE-FABBED CONCRETE PAD - 10" X 10"



NOTES:

- SYSTEM TO TURN ON AND OFF WITH 24 VOLT SIGNAL FROM IRRIGATION CONTROLLER
- ALL ELECTRICAL WIRING SHALL BE INSTALLED IN CONDUIT TO MEET LOCAL ELECTRICAL CODES
- PRESSURE RELIEF VALVE TO EXHAUST AT 75 PSI
- PRIOR TO DRILLING THE WELL, THE WELL CONTRACTOR MUST DISCUSS THE ANTICIPATED DEPTH OF THE WELL AND WATER QUALITY WITH THE LANDSCAPE ARCHITECT
- POTENTIAL FOR WELL WATER HIGH PH LEVELS MAY OCCUR. RESULTS IN STAINING MUST BE MINIMIZED.



CONTROL VALVE



DRIP CONNECTION

CONTROL VALVE

DRIP CONNECTION

DRIP ZONE CONTROL VALVE

PUMP & WELL SYSTEM

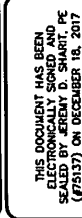
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DRAWN BY:	M. THOMAS
CHECKED BY:	D. REVELS

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(813) 815-1522
CERTIFICATE OF AUTHORIZATION 28187



4210 ROCKWELL AVE., SUITE 600
CORONA, FLORIDA 33436

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JEREMY D. SHART PE, FL LIC 79137

PRITCHARD ROAD FL
NXFL-118
12084 KEVIN ALLEN LANE
JACKSONVILLE, FLORIDA 32219
(DUPLICATE COPY)

IRRIGATION PLAN
SHEET NUMBER

IR1

NTS

IRRIGATION NOTES

SCALE AS NOTED

LEGEND

NOTES

CONTROL VALVE

DRIP CONNECTION

DRIP ZONE CONTROL VALVE

PUMP & WELL SYSTEM

A - GENERAL

- A1. ALL ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE (EDITION ADOPTED BY LOCAL JURISDICTION) AND APPLICABLE LOCAL CODES.
- A2. GROUNDING SHALL COMPLY WITH ARTICLE 250 OF THE NATIONAL ELECTRIC CODE.
- A3. ALL ELECTRICAL EQUIPMENT AND ACCESSORIES SHALL BE U.L. APPROVED OR LISTED.
- A4. ALL POWER WIRING SHALL BE STRANDED COPPER, TYPE THHN/THHW, AND 90 DEGREES C RATED.
- A5. GROUNDING ELECTRODE CONDUCTORS SHALL BE BARE, TIN COATED COPPER AND EQUIPMENT GROUND CONDUCTORS SHALL BE GREEN INSULATED, UNLESS OTHERWISE NOTED.
- A6. ALL POWER WIRING SHALL BE INSTALLED IN GALVANIZED RIGID STEEL CONDUIT, PVC, OR FLEXIBLE LIQUIDTIGHT CONDUIT, AS INDICATED.
- A7. CONTRACTOR SHALL OBTAIN ALL PERMITS, PAY PERMIT FEES, AND SCHEDULE INSPECTIONS.
- A8. CONTRACTOR SHALL APPLY FOR ELECTRICAL SERVICE AS SOON AS POSSIBLE AND COORDINATE REQUIREMENTS, SERVICE ROUTING, AND METER SOCKET TYPE WITH LOCAL POWER COMPANY.
- A9. CONTRACTOR SHALL APPLY FOR TELEPHONE SERVICE AS SOON AS POSSIBLE AND COORDINATE REQUIREMENTS AND SERVICE ROUTING WITH TELEPHONE COMPANY.
- A10. PROVIDE ALL LABOR AND MATERIAL DESCRIBED ON THIS DRAWING, AND ALL ITEMS INCIDENTAL TO COMPLETING AND PRESENTING THIS PROJECT AS FULLY OPERATIONAL.
- A11. WHERE LONG POWER CABLE RUNS PREVAIL, CONTRACTOR SHALL CALCULATE THE VOLTAGE DROP AND SIZE WIRES AND CONDUIT ACCORDINGLY.
- A12. WHERE TRANSFORMER IS REQUIRED FOR ELECTRICAL SERVICE, TRANSFORMER SECONDARY SHALL BE GROUNDED PER N.E.C., ARTICLE 250-26.
- A13. REFER TO SITE SPECIFIC DWGS FOR ELEVATIONS.
- A14. ALL ELECTRICAL DEVICES EXPOSED TO WEATHER SHALL BE OF RAINPROOF CONSTRUCTION AND SHALL REQUIRE WATER TIGHT CONDUIT HUBS, NEMA 3R TYPICAL.
- A15. CONTRACTOR SHALL COIL CABLES AT HANDHOLE WITH LENGTHS AS REQUIRED BY ELECTRICAL UTILITY FOR CONNECTION BY UTILITY.
- A16. ALL UNDERGROUND SERVICE ENTRANCE POWER CABLES SHALL BE TYPE FOR SUCH USE. CONTRACTOR SHALL CALCULATE VOLTAGE DROP AND RE-SIZE CABLES PER NEC REQUIREMENTS FOR CABLE RUNS EXCEEDING 250 FEET.

B - POWER CABLE AND SERVICE

- B1. CONTRACTOR SHALL PROVIDE CONDUIT AND WIRING TO BTS AND VERIFY EXACT CONDUIT ROUTING. RACEWAY SYSTEM MATERIALS AND DEVICES FURNISHED SHALL BE IN ACCORDANCE WITH APPLICABLE STANDARDS OF ANSI, NEMA, AND UL. RACEWAY SYSTEM COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE N.E.C.
- B2. CONTRACTOR SHALL SEAL AROUND ALL CONDUIT PENETRATIONS THROUGH WALLS, FLOORS AND ROOFS TO PREVENT MOISTURE PENETRATION OR VERMIN INFESTATION.
- B3. CONDUCTORS RUNNING ALONG HORIZONTAL SURFACES (ROOF TOP OR SLAB) SHALL BE INSTALLED IN RIGID CONDUIT SUPPORTED ON ELECTRICAL CONDUIT SUPPORT.
- B4. ALL VERTICAL RUNS OF POWER CABLE EXCEEDING 80 FEET IN LENGTH SHALL BE SUPPORTED PER N.E.C. ARTICLE 300 USING KELLEMS GRIPS OR ACCEPTABLE EQUAL CABLE SUPPORT SYSTEM.
- B5. WHERE A SEPARATE ELECTRICAL SERVICE DROP IS ADDED, CONTRACTOR SHALL INSTALL PERMANENT SERVICE DISCONNECT OR GROUPING THEREOF, DENOTING ALL OTHER SERVICE ENTRANCES, LOCATION OF EACH AND THE AREAS SERVED BY EACH.
- B6. WHERE ELECTRICAL POWER IS TO BE SUB-FED FROM AN EXISTING DISTRIBUTION SYSTEM, THE FOLLOWING SHALL APPLY:
 - A) CONTRACTOR SHALL PERFORM LOAD TESTING TO DETERMINE MAXIMUM FEEDER DEMAND PER N.E.C. ARTICLE 220-35.
 - B) CONTRACTOR SHALL VERIFY WHETHER EXISTING FEEDER CAPACITY EXCEEDS VALUE CALCULATED PER N.E.C. ARTICLE 220-35.
 - C) EACH BRANCH CIRCUIT PROTECTIVE DEVICE SHALL HAVE SAME INTERRUPTING RATING AS EQUIPMENT SUPPLYING IT.
 - D) PREFERRED MEANS OF SUPPLY SHALL BE A BRANCH CIRCUIT PROTECTIVE DEVICE LOCATED IN EXISTING PANEL.
 - E) IF A BRANCH CIRCUIT PROTECTIVE DEVICE CANNOT BE OBTAINED OR SPACE IS NOT AVAILABLE, A BRANCH CIRCUIT MAY BE TAPPED FROM EXISTING FEEDER CONDUCTORS USING AN INSTALLED 2-POLE FUSED DISCONNECT AND METER BASE PER N.E.C. ARTICLE 240-21 WITH TEN FOOT (10) MAXIMUM TAP CONDUCTORS. FUSED DISCONNECT SHALL BE LISTED SAME OR BETTER INTERRUPTING RATING AS EXISTING SOURCE OF SUPPLY.

C - RF (COAX) AND LOW VOLTAGE CABLE

- C1. RF CABLES AND LOW VOLTAGE CABLING BETWEEN BTS, LNA OR TMA AND ANTENNA SHALL BE SUPPORTED USING ANDREW "SNAP-IN" HANGERS OR ACCEPTABLE EQUAL.
- C2. RF CABLES AND LOW VOLTAGE CABLING BETWEEN BTS, LNA OR TMA AND ANTENNA SHALL BE ROUTED AS FOLLOWS:
 - A) RUNNING ALONG HORIZONTAL SURFACES: USE WAVEGUIDE SUPPORTS OR BRIDGE KIT MOUNTED ON CONCRETE SLEEPERS.
 - B) RUNNING ALONG VERTICAL TOWER FACE: WAVEGUIDE LADDER W/HANGERS OR KELLEMS GRIPS.
 - C) RUNNING ALONG OR ADJACENT TO BTS PLATFORM: USE 12 X 3 OPEN OR COVERED ELECTRICAL LADDER TRAY.

D - IDENTIFICATION

- D1. LOCATE NAMEPLATE, MARKING, OR OTHER IDENTIFICATION MEANS ON OUTSIDE EQUIPMENT OR BOX FRONT COVERS.
- D2. PROVIDE NAMEPLATE ENGRAVED WITH EQUIPMENT DESIGNATION FOR EACH SAFETY SWITCH AND ALL OTHER ELECTRICAL CABINETS, ETC.
- D3. DURING TRENCH BACK-FILLING FOR EACH UNDERGROUND ELECTRICAL, TELEPHONE, SIGNAL AND COMMUNICATIONS LINE, PROVIDE A CONTINUOUS UNDERGROUND WARNING TAPE TWELVE INCHES BELOW FINISHED GRADE.

REV	DATE	DESCRIPTION
A	11/20/17	PRELIM PLANS
0	12/17/17	FINAL PLANS ISSUED
PROJECT NO.:		17-5753
DRAWN BY:	M. THOMAS	
PROJECT MANAGER:	D. REVELS	
CHECKED BY:	D. REVELS	

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CERTIFICATE OF AUTHORIZATION 28767



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JEREMY D. SHARIT PE FL LIC 75137

PRITCHARD ROAD FL
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12094 KEVIN ALLEN LANE
JACKSONVILLE, FLORIDA 32219
(DUVAL COUNTY)

SHEET NAME
ELECTRICAL NOTES

SHEET NUMBER
E1

GROUNDING NOTES

- A - GENERAL**
- A1. INSTALLATION OF GROUNDING ELECTRODE SYSTEM SHALL COMPLY WITH ARTICLE 250 OF THE NATIONAL ELECTRIC CODE AND WITH ALL BUILDING CODES OF AUTHORITIES HAVING JURISDICTION.
- A2. GROUNDING CONDUCTORS SHALL BE #2 AWG TINNED SOLID BARE COPPER BELOW AND ABOVE GRADE, UNLESS OTHERWISE NOTED AND SHALL BE ROUTED IN A DOWNWARD PATH TOWARDS GROUND BARS.
- A3. GROUNDING CONDUCTORS SHALL BE KEPT AS SHORT AND DIRECT AS POSSIBLE WITH MINIMUM BEND RADIUS OF 12 INCHES.
- A4. ALL BELOW GRADE CONNECTIONS SHALL BE CABLED TYPE CONNECTIONS AND ALL CONNECTIONS TO EQUIPMENT AND GROUND BARS SHALL BE 2-HOLE BRONZE COMPRESSION UNLESS OTHERWISE NOTED.
- A5. GROUNDING SYSTEM PER SPECIFICATIONS AND INTERCONNECT NEW SYSTEMS TO ANY EXISTING GROUNDING SYSTEMS AS REQUIRED BY NFPA 70 AND 780 (THIS APPLIES TO ELECTRICAL POWER DISTRIBUTION GROUNDING SYSTEM, LIGHTNING PROTECTION GROUNDING SYSTEM, COAX CABLE GROUNDING SYSTEM AND ANY OTHER EXISTING GROUNDING SYSTEMS).
- A6. GROUNDING CONDUCTORS SHALL BE BONDED TO CABLE SUPPORTS, ANTENNA FRAMES, AND ANY SUPPORT FRAMES OR RACKS USING CABLED OR MECHANICAL CONNECTIONS.
- A7. HARDWARE SHALL BE USED THROUGH WASHERS FOR ALL MECHANICAL CONNECTIONS FOR GROUND CONDUCTORS, STAINLESS STEEL GROUNDING CONDUCTORS EMBEDDED IN CONCRETE OR PENETRATING WALLS AND FLOORS SHALL BE ENCASED IN PVC CONDUIT. NO METALLIC CONDUIT SHALL BE USED FOR GROUNDING CONDUCTORS UNLESS REQUIRED BY LOCAL CODES OR OTHERWISE INDICATED IN DRAWINGS. CONTRACTOR SHALL SEAL AROUND ALL CONDUIT PENETRATIONS TO PREVENT MOISTURE PENETRATION AND VERMIN INFESTATION.
- A9. CONTRACTOR SHALL BOND PCS GROUNDING SYSTEM VIA THE MASTER GROUND BAR TO ALL METAL OBJECTS WITHIN 12 FEET OF EQUIPMENT, CONDUIT AND CABLES.
- A10. BONDING OF GROUNDING CONDUCTOR (NEUTRAL) AND GROUNDING CONDUCTOR SHALL BE AT SERVICE DISCONNECTING MEANS.
- A11. CONTRACTOR SHALL VERIFY EXACT CONDUIT ROUTING FOR GROUNDING CONDUCTORS WHERE APPLICABLE.
- A12. A GROUND LEAD IS REQUIRED ONLY FOR BTS SUPPORTED ON STEEL FRAME. AN ADDITIONAL GROUND LEAD IS REQUIRED IF CABLE TRAY IS USED.
- A13. CONNECTIONS TO COB SHALL BE ARRANGED IN THE FOLLOWING THREE GROUPS:
- SURGE ABSORBERS (GROUNDING ELECTRODE RING OR BUILDING STEEL)
 - NON-SURGING OBJECTS (COB GROUND IN BTS).
- A14. DOUBLING OR STACKING OF ANY GROUNDING CONNECTIONS IS NOT ACCEPTABLE.
- A15. ALL GROUND BARS SHALL BE INSTALLED WITH STAND OFF INSULATORS.
- B - PREPARATION**
- B1. SURFACES: ALL CONNECTIONS SHALL BE MADE TO BARE METAL. ALL PAINTED SURFACES SHALL BE FIELD INSPECTED TO ENSURE PROPER CONTACT. ALL GALVANIZING SURFACES ON WHICH GALVANIZING HAS BEEN REMOVED BY CUTTING, DRILLING, OR ANY OTHER METHOD SHALL BE RE-GALVANIZED IN ACCORDANCE WITH ASTM A780 USING ZINC RICH COATING AS MANUFACTURED BY ZAC CHEMICAL PRODUCTS COMPANY (LOCATED IN QUINCY, MASSACHUSETTS) OR ACCEPTABLE EQUAL. NO WASHERS ARE ALLOWED BETWEEN ITEMS BEING GROUNDED. ALL CONNECTIONS ARE TO HAVE A NON-OXIDIZING AGENT ("COPPER SHIELD"), APPLIED PRIOR TO INSTALLATION.
- B2. GROUND BAR: ALL COPPER GROUND BARS SHALL BE CLEANED, POLISHED AND A NON-OXIDIZING AGENT ("COPPER SHIELD") APPLIED. NO FINGER PRINTS OR DISCOLORED COPPER SHALL BE PERMITTED.
- C - BUILDINGS**
- C1. ELECTRICAL CONTRACTOR SHALL PERFORM REQUIRED TESTING ON GROUNDING SYSTEM ONCE GROUNDING SYSTEM IS COMPLETELY CONSTRUCTED AND BEFORE SERVICE POWER AND GROUND IS CONNECTED (SEE NOTE T1 FOR TEST DESCRIPTION).
- C2. A #4/0 AWG COPPER CONDUCTOR SHALL BE ROUTED FROM MASTER GROUND BAR AT BTS SITE TO MAIN METAL COLD WATER PIPE AND BONDED TO PIPE WITH BRONZE 2-HOLE PIPE CLAMP. CLAMP SHALL BE CONNECTED TO WATER PIPE WITHIN 5 FEET OF ENTRY TO MAIN METAL COLD WATER PIPE WITH BUILDING PRINCIPAL GROUND BAR (BPG) INSTALLED NEAR ENTRANCE OF MAIN METAL COLD WATER PIPE INTO BUILDING. A #4/0 AWG STRANDED COPPER DOWN CONDUCTOR (VERTICAL GROUND RISER) SHALL BE USED TO INTERCONNECT GROUND BARS.
- C4. A MASTER GROUND BAR (MGB) SHALL BE INSTALLED NEAR BTS WITH BUILDING PRINCIPAL GROUND BAR (BPG) INSTALLED NEAR LOCATION WHERE SEPARATION DISTANCE IS LESS THAN 6 FEET.
- C3. METAL RACEWAYS, ENCLOSURES, FRAMES AND OTHER NON-CURRENT CARRYING PARTS OF ELECTRICAL EQUIPMENT SHALL BE KEPT AT LEAST 6 FEET AWAY FROM LIGHTNING ROD CONDUCTORS OR THEY MUST BE BONDED TO LIGHTNING ROD CONDUCTORS AT THE MINIMUM DISTANCE OF 4 INCHES.
- C2. A #4/0 AWG COPPER CONDUCTOR SHALL BE BONDED TO MAIN METAL COLD WATER PIPE AT BTS SITE TO MAIN METAL COLD WATER PIPE AND BONDED TO PIPE WITH BRONZE 2-HOLE PIPE CLAMP. CLAMP SHALL BE CONNECTED TO WATER PIPE WITHIN 5 FEET OF ENTRY TO MAIN METAL COLD WATER PIPE WITH BUILDING PRINCIPAL GROUND BAR (BPG) INSTALLED NEAR ENTRANCE OF MAIN METAL COLD WATER PIPE INTO BUILDING. A #4/0 AWG STRANDED COPPER DOWN CONDUCTOR (VERTICAL GROUND RISER) SHALL BE USED TO INTERCONNECT GROUND BARS.
- C5. VERTICAL RISER SHALL CONSIST OF A #4/0 AWG (THWN) STRANDED COPPER CONDUCTOR INSIDE 3/4" CONDUIT.
- C6. CONTRACTOR SHALL BOND BUILDING PRINCIPAL GROUND BAR (BPG) NEAR MAIN METAL COLD WATER PIPE TO EXISTING BUILDING GROUND RING AS WELL AS TO MAIN METAL COLD WATER PIPE WITH #4/0 AWG (THWN) STRANDED COPPER CONDUCTOR.
- C7. ANTENNA GROUND BARS (AGB) SHALL BE INSTALLED NEAR ANTENNAS AND SHALL BE BONDED TO MASTER GROUND BAR (MGB) WITH #2 AWG TINNED SOLID BARE COPPER CONDUCTOR.
- C8. IF CODES REQUIRE VERTICAL RISER TO BE ISOLATED IN CONDUIT, PVC CONDUIT IS PREFERRED. IF METALLIC CONDUIT IS USED, GROUNDING BUSINERS SHALL BE INSTALLED ON EACH END OF THE CONDUIT AND BONDED TO GROUND BARS USING #2 AWG (THWN) STRANDED COPPER CONDUCTORS WITH GREEN INSULATION.

D - LAND BUILDS AND CO-LOCATES

- D1. THE GROUND ELECTRODE SYSTEM SHALL CONSIST OF DRIVEN GROUND RODS UNIFORMLY SPACED AROUND THE EQUIPMENT FOUNDATION AND AROUND THE PERIMETER OF THE TOWER FOUNDATION. THE GROUND RODS SHALL BE #4 X 10'-0" COPPER CLAD STEEL INTERCONNECTED WITH #2 SOLID TINNED BARE COPPER ROUND CONDUCTOR TO FORM A GROUND RING AT A DEPTH OF 30 INCHES BELOW THE SURFACE OF THE SOIL. A MINIMUM OF 1 FOOT AND A MAXIMUM OF 3 FEET CLEARANCES SHALL BE MAINTAINED FROM FOUNDATIONS. TOWER AND EQUIPMENT GROUND RINGS SHALL BE INTERCONNECTED WITH TWO GROUNDING CONDUCTORS OF EQUAL LENGTH AND MATERIALS.
- D2. GROUND RODS SHALL BE BONDED TO GROUND RINGS AND INTERCONNECTING CONDUCTORS AT EQUAL INTERVALS OF APPROXIMATELY 10 FEET.
- D3. WAVEGUIDE BRIDGE SHALL BE BONDED TO GROUND RINGS OR INTERCONNECTING CONDUCTORS WITH GROUNDING CONDUCTORS BONDED TO DIAGONALLY OPPOSED SUPPORT POSTS.
- D4. GROUND BARS SHALL BE BONDED TO GROUND RING WITH SINGLE GROUNDING CONDUCTOR.
- D5. BONDS TO ANTENNA MASTS, FENCE POSTS, WAVEGUIDE BRIDGE, TOWER STEEL (UNLESS PROHIBITED BY TOWER MANUFACTURER) AND EXISTING SYSTEM SHALL ALSO BE BONDED TO COAX GROUND BARS.
- E1. IF EXISTING BUILDING HAS AN NFPA 780 AIR TERMINAL SYSTEM, EXISTING SYSTEM SHALL BE BONDED TO A GROUND BAR TO BOND THE EXISTING SYSTEM TO THE NEW SYSTEM. SHOULD THE EXISTING SYSTEM COME WITHIN 8 FEET OF ANTENNA STRUCTURES, EXISTING SYSTEM SHALL ALSO BE BONDED TO COAX GROUND BARS.
- E2. IF SITE IS IN A HIGH RISK AREA AND ANTENNAS DO NOT FALL WITHIN EXISTING CONE OF PROTECTION FOR BUILDING, AIR TERMINALS SHALL BE INSTALLED AT ANTENNAS. A SINGLE AIR TERMINAL MAY BE USED WHEN TWO ANTENNAS ARE MOUNTED ON SAME STRUCTURE AND IT HAS BEEN DETERMINED THAT BOTH ANTENNAS WILL FALL WITHIN LIGHTNING CONE OF PROTECTION FOR SINGLE AIR TERMINAL.
- 1 - GROUNDING REQUIREMENTS**
- T1. CONTRACTOR SHALL INSPECT AND TEST ANY NEW OR EXISTING NEXTORA GROUNDING SYSTEM WITH A BIDDLE-MEGGER TESTER UTILIZING THE FALL OF POTENTIAL METHOD AND CONTACT CONSTRUCTION MANAGER IF RESISTANCE EXCEEDS 5 OHMS AND SHALL FOR PROJECT CLOSE-OUT DOCUMENTATION.
- T2. COAX CABLE OUTER CONDUCTORS (SHIELDS) SHALL BE GROUNDED USING COAX GROUNDING KITS AT A MINIMUM OF TWO POINTS, INCLUDING AT ANTENNA AND AT MASTER GROUND BAR. THE COAXIAL CABLE SHALL NOT EXCEED 100 FEET BETWEEN GROUNDING KITS.
- T3. GROUNDING CONDUCTOR CONSISTING OF 2-#2 AWG TINNED SOLID BARE COPPER WIRE SHALL BE BONDED TO WAVEGUIDE ENTRY GROUND BAR USING GAWELD CONNECTIONS.
- T4. COAX CABLE ENTERING A BUILDING SHALL BE GROUNDED WITH COAX GROUNDING KITS TO AN INSULATED COAX GROUND BAR WHICH SHALL BE INSTALLED ON THE OUTSIDE FACE OF THE BUILDING, BELOW THE CABLE ENTRY POINTS.
- T5. WHEN COAX CABLES ENTER A BUILDING FROM A TOWER, THE COAX GROUND BAR AT THE BUILDING SHALL BE CONNECTED TO THE EXTERNAL GROUND RING USING 2-#2 AWG BARE TINNED SOLID COPPER ISOLATED IN PVC CONDUIT.
- T6. WHEN COAX CABLES ENTER A BUILDING FROM A ROOF TOP, THE COAX STRANDED INSULATED COPPER CONDUCTOR (SEE BUILDING NOTES ON THIS DRAWING FOR CONNECTION TO PRINCIPLE GROUND BAR AND BUILDING GROUND).

1

PROJECT NO.: 17-5753

DATE: 11/20/17

PRELIM PLANS

DATE: 12/17/17

FINAL PLANS ISSUED

0

12/17/17

1

REVISIONS

NO.	DATE	DESCRIPTION
0	11/20/17	PRELIM PLANS
1	12/17/17	FINAL PLANS ISSUED

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DRAWN BY: M. THOMAS

CHECKED BY: D. REVELS

PROJECT MANAGER: D. REVELS

PROJECT NO.: 17-5753

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CERTIFICATE OF AUTHORIZATION 28767

TOGETHER PLANNING A BETTER TOMORROW

ENGINEERING GROUP, INC.

12000 DANESTWELL 3TH PLACE, SUITE 600
DUNESWELL, FLORIDA 33606

NEXTORA

FOR A COMPLETE SOLUTION EXPERIENCE

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JEREMY D. SHARIT PE LIC. NO. 75137

12094 KEVIN ALLEN LANE
JACKSONVILLE, FLORIDA 32219
(DUVAL COUNTY)

NXFL-118

PRITCHARD ROAD FL

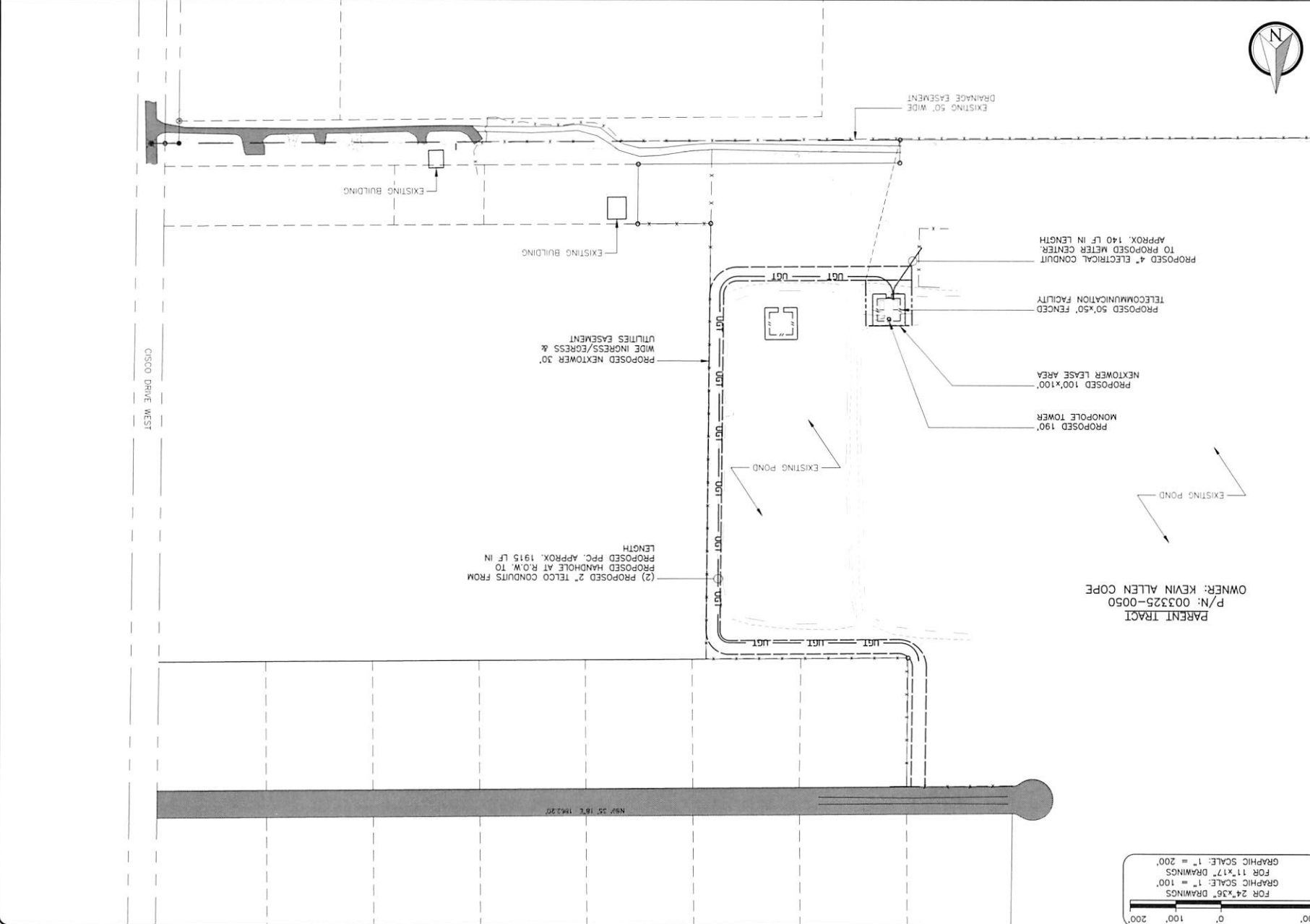
SHEET NAME

GROUNDING

NOTES

SHEET NUMBER

E2



PARENT TRACT
P/N: 003325-0050
OWNER: KEVIN ALLEN COPE

FOR 24"x36" DRAWINGS
GRAPHIC SCALE: 1" = 100'
FOR 11"x17" DRAWINGS
GRAPHIC SCALE: 1" = 200'

SHEET NAME
OVERALL POWER/TELCO ROUTING PLAN
SHEET NUMBER
E3
PRITCHARD ROAD FL
NXFL-118
1204 KEVIN ALLEN LANE
JACKSONVILLE FLORIDA 32219
(DUVAL COUNTY)

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NextTower
FOR POWER & TELCO SERVICES

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(813) 615-1422
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REV	DATE	DESCRIPTION
A	11/20/17	PRELIM PLANS
0	12/17/17	FINAL PLANS ISSUED
PROJECT NO: 17-5753		
DRAWN BY: M. THOMAS		PROJECT MANAGER: D. REVELS
CHECKED BY: D. REVELS		

Pritchard Road FL
 NXFL-118
 12094 KEVIN ALLEN LANE
 JACKSONVILLE, FLORIDA 32219
 SHEET NAME
**ENLARGED
 POWER/TELCO
 ROUTING PLAN**
 SHEET NUMBER
 E3.1

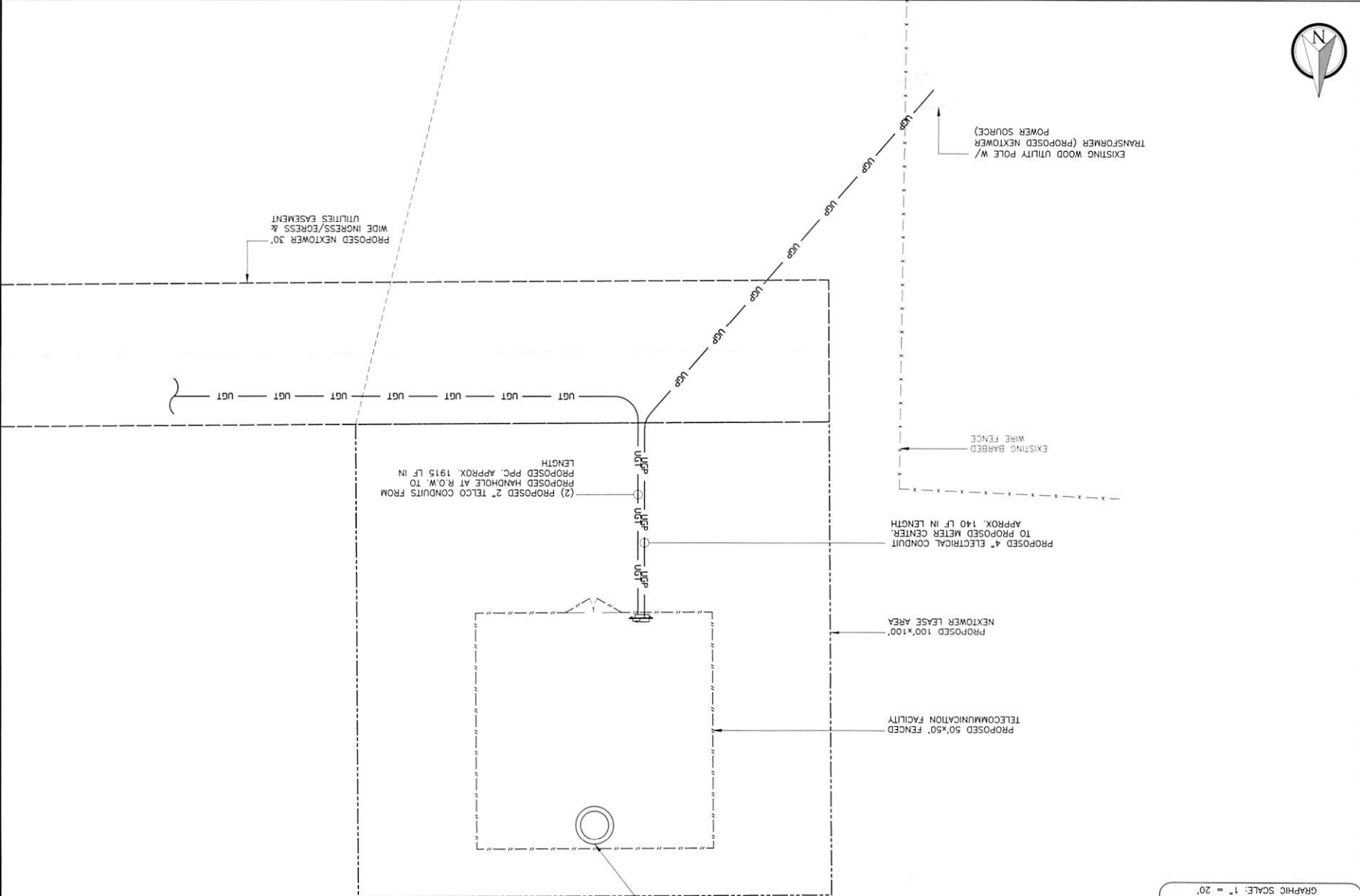
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 A 501(c)(3) NON-PROFIT CORPORATION
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 PROJECT NO: 17-5753
 DRAWN BY: M. THOMAS
 PROJECT MANAGER: D. REVELS
 CHECKED BY: D. REVELS

REV	DATE	DESCRIPTION
A	11/20/17	PRELIM PLANS
0	12/17/17	FINAL PLANS ISSUED

ENLARGED POWER & TELCO ROUTING PLAN



FOR 24"x36" DRAWINGS
 GRAPHIC SCALE: 1" = 10'
 FOR 11"x17" DRAWINGS
 GRAPHIC SCALE: 1" = 20'

REV	DATE	DESCRIPTION
A	11/20/17	PRELIM PLANS
0	12/17/17	FINAL PLANS ISSUED

PROJECT NO:	17-5753
DRAWN BY:	M. THOMAS
PROJECT MANAGER:	D. REVELS
CHECKED BY:	D. REVELS

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SMM ENGINEERING GROUP, INC.
TOGETHER PLANNING A BETTER TOMORROW

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CERTIFICATE OF AUTHORIZATION 28767

NexTower
CONSTRUCTION MANAGEMENT & INSPECTION

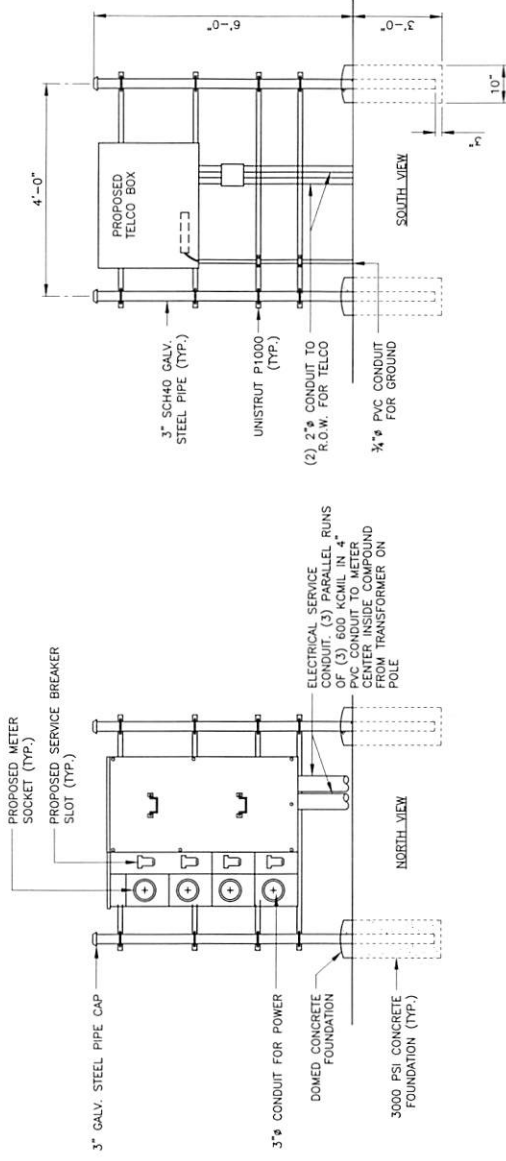
4210 NORTHWEST 37TH PLACE, SUITE 600
DAVENSVILLE, FLORIDA 32606

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JEREMY D. SHART PE FL LIC 75137

PRITCHARD ROAD FL
NXFL-118
2204 KEVIN ALLEN LANE
JACKSONVILLE, FL 32219
(DUVAL COUNTY)

SHEET NAME
RISER DIAGRAM
SHEET NUMBER
E-4



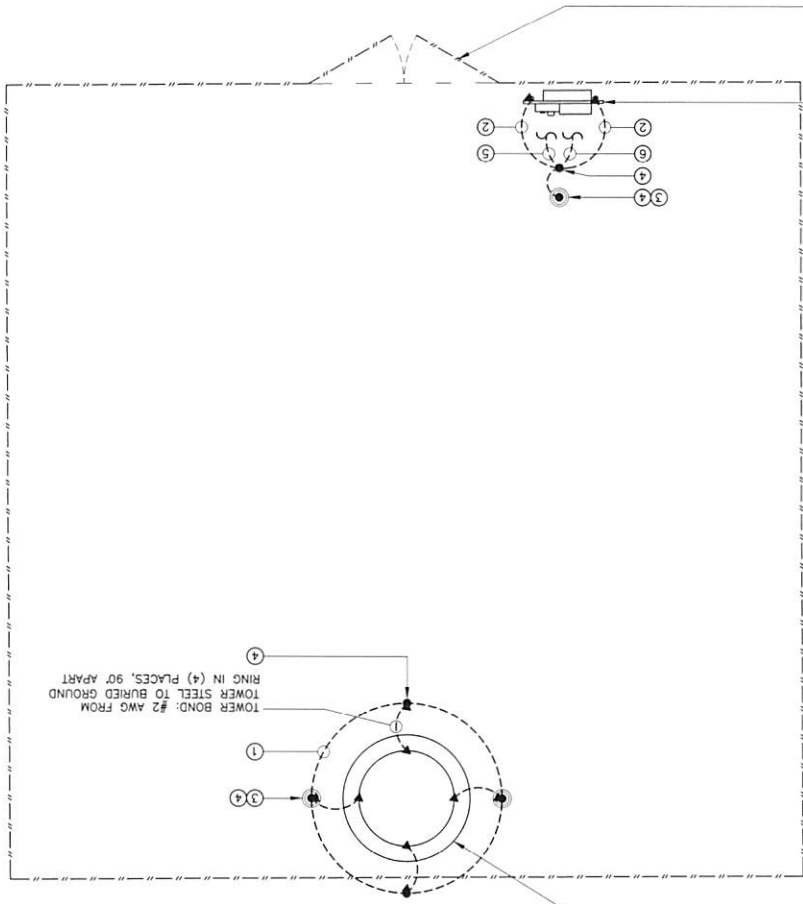
GROUNDING PLAN



PROPOSED UTILITY RACK W/
METER CENTER & TELCO
ENCLOSURE

ROOM, 120V/240V, 4 GANG
METER CENTER & TELCO

PROPOSED 12' WIDE
ACCESS GATE



GRAPHIC SCALE: 1/4" = 1'-0"
FOR 11'x17' DRAWINGS

GRAPHIC SCALE: 1/8" = 1'-0"
FOR 24'x36' DRAWINGS

PROPOSED 190'
MONOPOLE TOWER

PROPOSED 50'x50' FENCED
TELECOMMUNICATION FACILITY

PROPOSED 6' TALL WHITE
PVC FENCE

GROUNDING KEY NOTES:

1 PROVIDE A #2 AWG SOLID BARE TINNED COPPER GROUND RING AROUND THE TOWER, AS SHOWN. ALL EXTERIOR GROUNDING CONDUCTORS SHALL BE BURIED A MINIMUM OF 18" BELOW GRADE. THE GROUND RING SHALL BE INSTALLED 1'-0" AWAY FROM FOUNDATIONS (MINIMUM UNLESS SHOWN OTHERWISE ON DRAWINGS), WHERE REQUIRED DUE TO SOIL CONDITIONS AND THE PRESENCE OF ROCK. THE ROUTING OF THE GROUND RING MAY BE ADJUSTED (WITH APPROVAL FROM NEXFLOW) ALL BONDS TO THE BURIED GROUND RING SHALL BE WITH EXOTHERMIC WELDS.

2 BOND UTILITY RACK POSTS AND BOTH SIDES OF WAVEGUIDE BRIDGE TO BURIED GROUND RING. EXOTHERMICALLY WELD A #2 AWG SOLID BARE TINNED COPPER CONDUCTOR TO EACH POST AT 12" ABOVE GRADE AND CONNECT TO THE BURIED GROUND RING. PROVIDE CONDUCTOR LENGTH AS REQUIRED TO MAKE CONNECTION.

3 PROVIDE 6" DIAMETER PVC INSPECTION SLEEVE WITH REMOVABLE COVER IN LOCATION SHOWN. SEE GROUND ROD INSPECTION WELL DETAIL. SHEET E6, FOR TYPICAL GROUND ROD INSPECTION SLEEVE. NOTE: INSPECTION SLEEVE CAN BE USED AS A TEST WELL FOR GROUND WATER LEVEL INSPECTION AND GROUND RESISTANCE TESTING.

4 INSTALL 1/2" x 10' LONG COPPER-CLAD STEEL GROUND RODS. SPACING BETWEEN RODS NOT TO EXCEED 16' (NONLINEAR), TYPICAL FOR ALL GROUND RODS SHOWN, UNLESS NOTED OTHERWISE. SEE GROUND ROD INSPECTION WELL DETAIL. SHEET E6, IF ROCK IS ENCOUNTERED. GROUND ROD MAY BE INSTALLED WITH A MAXIMUM VARIATION OF 30" FROM VERTICAL AND CONTRACTOR SHALL BE PREPARED TO CORE DRILL TO INSTALL GROUND RODS AND BACKFILL WITH GROUND ENHANCEMENT MATERIAL.

5 #2 AWG CASE BOND

6 #3-0 AWG SERVICE GROUND CONDUCTOR, IN 1/2" PVC CONDUIT

●	INSPECTION WELL
▲	BOND
●	GROUND ROD

NOTE:
GROUNDING PLAN IS FOR
DIAGRAMMATIC PURPOSES ONLY.
CONTRACTOR TO DETERMINE SUITABLE
ROUTING FOR GROUNDING CONDUCTORS.

SCALE AS NOTED
1

REV	DATE	DESCRIPTION
A	11/20/17	PRELIM PLANS
0	12/17/17	FINAL PLANS ISSUED

PROJECT NO:	17-5753
DRAWN BY:	M. THOMAS
PROJECT MANAGER:	D. HEVLS
CHECKED BY:	D. HEVLS

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SM ENGINEERING GROUP, INC. 1501 TELCO PARKWAY, SUITE 100 TIGHTENING & RETIE TORQUEING CERTIFICATE OF AUTHORIZATION 2879

1501 TELCO PARKWAY, SUITE 100 TEMPE, ARIZONA, 85281 (619) 615-1422

NEXFLOW 4210 NORTHWEST 13TH PLACE, SUITE 600 MIAMI, FLORIDA 33150

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JEREMY D. SHARIT PE FL LIC 75137

12094 KEVIN ALLEN LANE JACKSONVILLE, FLORIDA 32219 (DUVAL COUNTY)

SHEET NAME
NXFL-118

PRITCHARD ROAD FL

GROUNDING PLAN

SHEET NUMBER
E5

REV	DATE	DESCRIPTION
A	11/20/17	PRELIM PLANS
D	12/17/17	FINAL PLANS ISSUED

PROJECT NO: 17-5753
 DRAWN BY: M. THOMAS
 PROJECT MANAGER: D. REVELS
 CHECKED BY: D. REVELS

SMM
 ENGINEERING GROUP, INC.
 TOGETHER PLANNING A BETTER TOMORROW

1501 TELECOM PARKWAY, SUITE 100
 TEMPE TERRACE, FLORIDA 33437
 (619) 915-1412
 CERTIFICATE OF AUTHORIZATION 28787

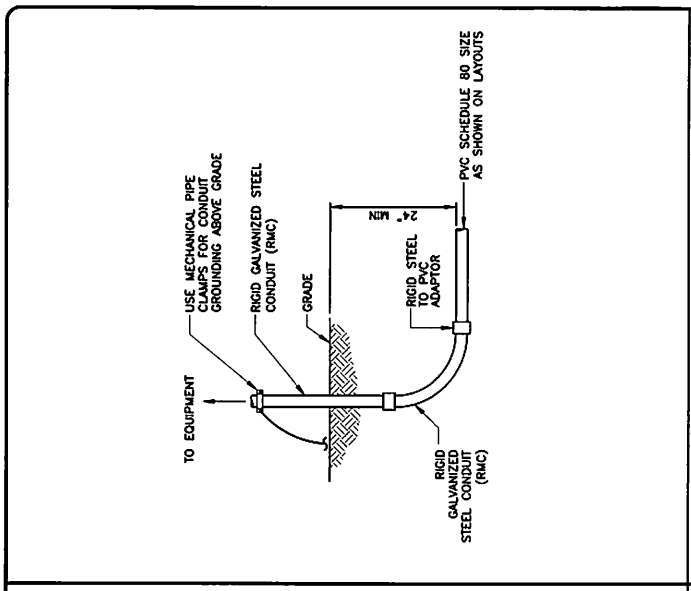
NextTower
 A COMMUNICATIONS COMPANY

4110 WINDHURST 37TH PLACE, SUITE 600
 GAINESVILLE, FLORIDA 32608

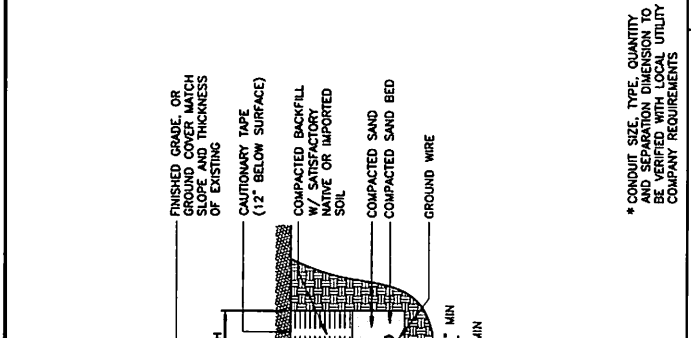
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JERRY D. SHART PE F.L. LIC 75137

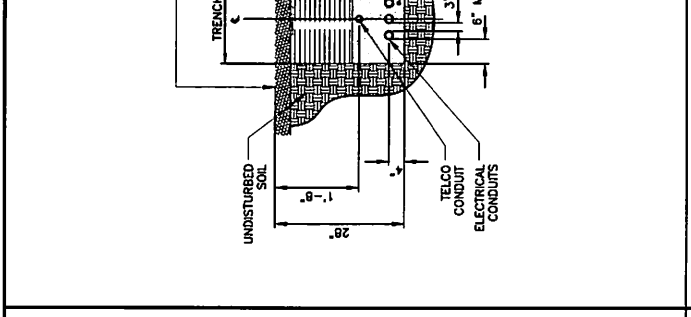
PRITCHARD ROAD FL	
NXFL-118	
12004 KEVIN ALLEN LANE JACKSONVILLE, FLORIDA 32219	
SHEET NAME	
GROUNDING	
DETAILS	
SHEET NUMBER	
E6	



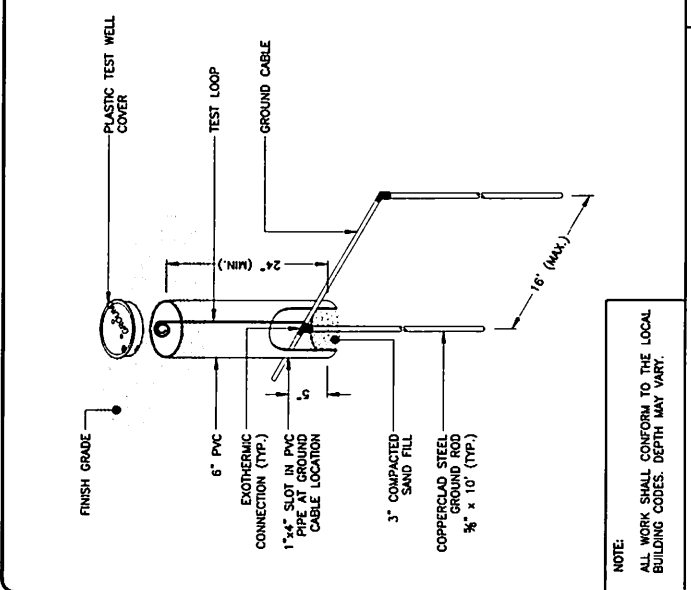
1 TRENCHING DETAIL NTS



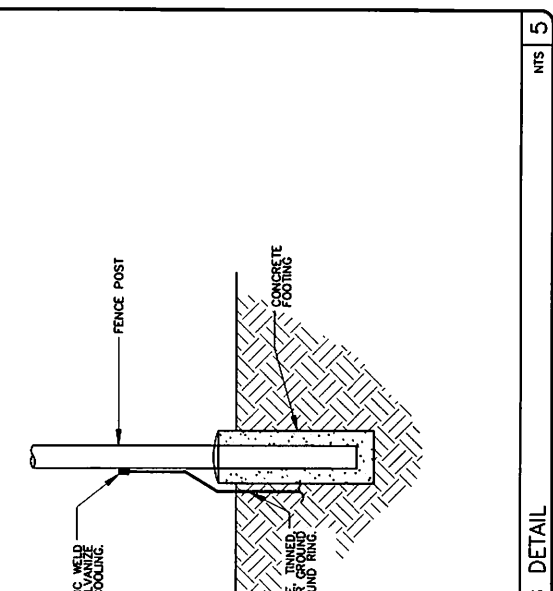
2 CONDUIT STUB-UP DETAIL NTS



3 UTILITY RACK POST BONDING DETAIL NTS



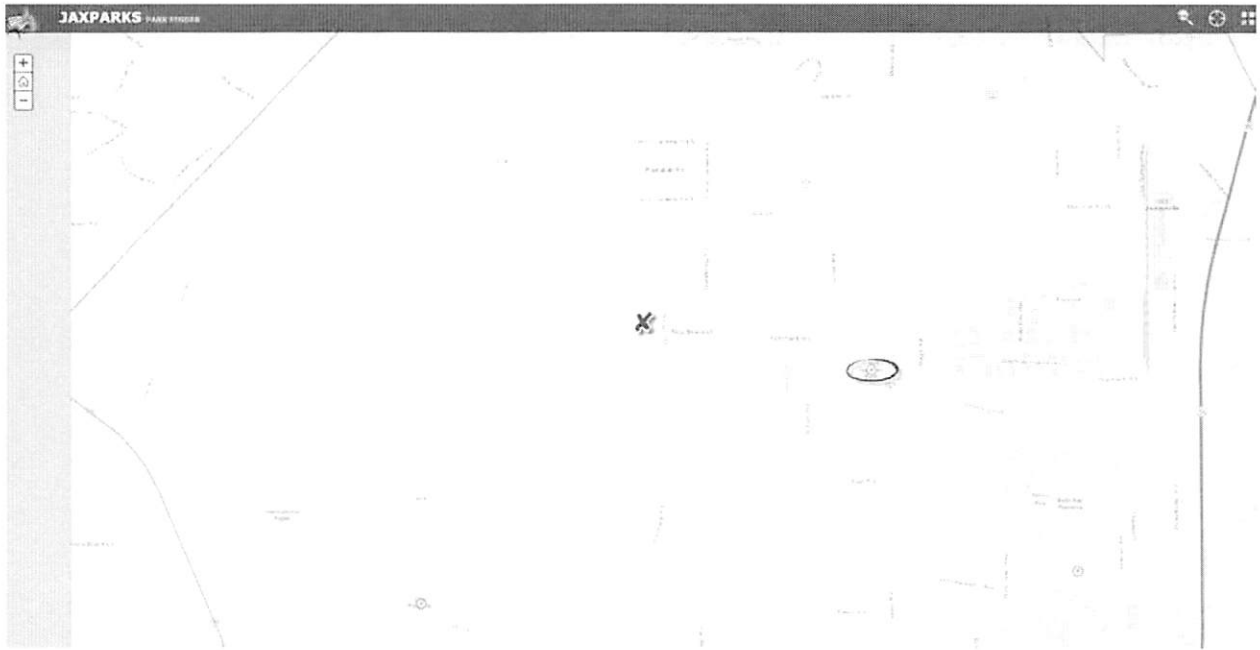
4 GROUND ROD INSPECTION WELL DETAIL NTS



5 EXOTHERMIC WELD DETAIL NTS

NOTE: ALL WORK SHALL CONFORM TO THE LOCAL BUILDING CODES. DEPTH MAY VARY.

NXFL-118 Pritchard Road Nearest Parks Map (2.2 Miles)



(Cisco Gardens Park)

NXFL-118 Pritchard Road Wetlands Map












NXFL-118 Pritchard Road Adjacent Structures Map



(Ring is ½ Mile)

NXFL-118 Pritchard Road Zoning Map

Active Layer: Zoning

-  Zoning
-  AGR
 -  CCBD
 -  CCG-1
 -  CCG-1-M
 -  CCG-2
 -  CCG-2-M
 -  CCG-5
 -  CN

